

Staff Summary Report



City Council Meeting Date: 09/26/02

Agenda Item Number: 31

SUBJECT: This is the first public hearing for Tempe Center for the Arts for a zoning change from I-2 and R1-6 to MG and a Preliminary and Final Planned Area Development, located at 700 West Rio Salado Parkway.

DOCUMENT NAME: 20020926dsrh04

PLANNED DEVELOPMENT (0406)
ORDINANCE No. 808.2002.06

SUPPORTING DOCS: Yes

COMMENTS: Hold the first public hearing for **TEMPE CENTER FOR THE ARTS** (City of Tempe, property owner) **#ZON-2002.06** for a zoning change from I-2 (22.87 gross acres), General Industrial and R1-6 (2.15 gross acres), One Family Residential to MG, Multi-Use General District (total 25.02 gross acres) and **#SPD-2002.57** for a Preliminary Planned Area Development (PAD) for Tempe Center for the Arts Master Plan consisting of 165,000 s.f. on 25.02 net acres and a Final PAD for a 600-seat theater, a 200-seat studio theater, a gallery for visual arts, a multi-purpose public area, and administrative offices, all consisting of 84,028 s.f. (Phase I), located at 700 West Rio Salado Parkway, including the following:

Variance

Waive the required landscape islands at the end of 15 parking spaces along the north west side of the parking lot to accommodate buses.

PREPARED BY: Hector Tapia, Senior Planner (480-350-8331)

REVIEWED BY: Steve Venker, Planning & Zoning Manager (480-350-8331)

LEGAL REVIEW BY: N/A

FISCAL NOTE: N/A

RECOMMENDATION: Staff – Approval
Planning Commission – Approval
Design Review - Approval

ADDITIONAL INFO: (See Attachment)

- ATTACHMENTS:**
1. List of Attachments
 2. History & Facts / Description
 3. Comments
 4. Conditions of Approval
-
- A. Location Map
 - B. Letter of Explanation/Letter of Authorization
 - C. Preliminary Planned Area Development (PAD)
 - D. Final Planned Area Development (PAD)
 - E. Landscape Plan
 - F. Elevations
 - G. Building Sections
 - H. Site Plan for Limit of Construction – Phase I
 - I. Signs Design Samples
 - J. Traffic Engineering Traffic Study
 - K. Ordinance No. 808.2002.06
 - L. Federal Aviation Administration (FAA) Approval Letter

HISTORY & FACTS:

- December 18, 1997. The City Council adopted by resolution (Resolution No. 97.84) General Plan 2020, Projected Land Use and Circulation Map.
- May 16, 2001. Tempe citizens passed Proposition 400 to collect an additional one tenth of one percent of sales tax for the construction of the Tempe Center for the Arts.
- May 20, 2002. Updated Rio Salado Master Plan.
- Schedule of Events (provided by Jody Ulich, Cultural Services Director)**
Proposition 400 was passed by the citizens of Tempe on May 16, 2001. The ballot language read, "an increase in the transaction privilege (sales) tax levied by the City of one tenth of one percent, from a current rate of 1.7 percent to 1.8 percent, to be used for land acquisition, design, construction, operations, and maintenance costs for a performing and visual arts center."
- Shortly after passage of Proposition 400, a committee was formed to oversee an architectural design competition and select a final architect for the project. The committee included citizens and City of Tempe representatives. The committee included: Mayor Neil Giuliano, Councilmember Barbara Carter, citizen representatives Joseph Lewis, Gail Fisher, and Dianne Cripe, and City representatives Will Manley, Mark Vinson, Jan Schaefer, and Howard Hargis. The design competition attracted 16 architectural firms. After extensive research and interviews, three teams were invited to participate in the actual competition. The competing firms were Barton Myers, Inc +Architekton; Skidmore Owings & Merrill Architects; and van Dijk Pace Westlake. The firm of Barton Myers, Inc. +Architekton were recommended as the project architects in March, 2002.
- Since that time, a steering committee was put in place to work closely with the architect team. The Committee is made up of citizens and city representatives. The Steering committee includes: Councilmember Barbara Carter, Councilmember Pam Goronkin, citizen representatives Gail Fisher, Dianne Cripe, Zephron Conte, and Robin Trick, and City representatives, Jody Ulich, Mark Richwine, Mark Vinson, Don Fassinger, Neal Mann, Andrea Hanley, Chris Anaradian, and Steve Venker, and Kitchell CEM representative Rick Pfannenstiel.
- The project is currently at 100% completion of design development phase. The project is due to break ground on construction in the Spring of 2004 and completion is scheduled for Spring of 2006. The total cost of the project including architectural and engineering fees, project and construction management, and construction is \$63 million. There is an additional \$3 million allocated from the City for completion of the park from the Art Center to Tempe Beach Park that will not come out of the tax fund.
- August 27, 2002. The Planning Commission approved a zoning change from R1-6 and I-2 to MG and a Preliminary Planned Area Development (PAD). A public hearing for the Final PAD was scheduled for September 24, 2002.
- August 29, 2002. A neighborhood meeting was held on August 29, 2002 (7:00 – 8:30 PM). Neighbors within the Sunset/Riverside neighborhood had the opportunity to comment on the Tempe Center for the Arts proposal.
- September 18, 2002. Design Review Board approved Phase I of Tempe Center for the Arts, including site plan, landscaping, elevations, and the overall architectural design.

DESCRIPTION: Owner –	City of Tempe,
	Jody Ulich, Deputy Community Services Manager
Applicant –	Joe Salvatore, Architekton
Architect –	Barton Myers Associates, Architekton
Engineering –	ARUP (Structural, Mechanical, Electrical, Plumbing)
	Stantec Consulting (Civil Engineering)
Theater Planning –	Theater Projects Consultants, Inc.
Acoustics –	ARUP Acoustics
Landscape Architect –	Design Workshop
Lighting –	Horton Lees Brogden
Sign/Graphics –	Adams Morioka
Safety/Fire –	Rolf Jensen & Associates
Cost –	Davis Langdon Adamson

Preliminary Planned Area Development (PAD)

Total Site Area –	25.021 net acres
Total bldg. Area –	165,000 s.f.
Total Parking Required –	678 spaces
Total Parking provided –	678 spaces
Bicycle parking required -	130
Bicycle parking provided -	130
Minimum Landscaping Required –	20.0%
Landscaping Provided –	80.0%
Provided Building height -	100 Feet

Final Planned Area Development (PAD)

Total Site Area –	25.021 net acres
Total bldg. Area –	84,028 s.f.
Basement –	2,901 s.f.
Orchestra Level –	782 s.f.
First Floor –	64,839 s.f.
Second floor –	9,298 s.f.
Third Floor –	5,538 s.f.
Fourth Floor –	670 s.f.
Total Parking Required –	325 spaces
Total Parking provided –	355 spaces
Bicycle parking required -	130 spaces
Bicycle parking provided –	130 spaces
Minimum Landscaping Required –	20.0%
Landscaping Provided –	80.0%
Provided Building height -	100 Feet

COMMENTS: The General Plan 2020 Projected Land Use Plan, adopted by City Council on December 18, 1997, designates the subject property as mixed use. The existing zoning is R1-6, Single Family Residential and I-2 General Industrial. The City of Tempe as the applicant proposes to rezone those 25.02 acres to MG, Multi-use General District. A Preliminary and Final PAD are also included under this request.

General Plan 2020 Projected Land Use

The existing General Plan 2020 Projected Land Use map designates the subject site as Mixed Use. This proposal conforms to that designation as part of the overall context within the Rio Salado Project.

Zoning

The existing zoning on the City owned parcel is R1-6 on 2.15 gross acres and I-2 on 22.87 gross acres. This request is to rezone those classifications to MG, Multi-Use General District. When the application includes a Preliminary and Final PAD, the process is as follows:

- Planning Commission reviews and recommends the zoning change and Preliminary PAD
- Design Review Board acts on the overall site plan, architectural design, landscaping, and elevations
- Planning Commission reviews and recommends the Final PAD
- City Council acts on the zoning change Preliminary and Final PAD

Rio Salado Overlay District

Ordinance 808, Part 2, Chapter 16, Section 2-1601, General Regulations, Item F. 1, Rio Salado Overlay District defines the intent applied to the Tempe Center for the Arts site:

Development proposals will be evaluated by the Tempe Rio Salado advisory commission, board of adjustment, planning and zoning commission or city council in accordance with the overall intent of the following Tempe Rio Salado Plan objectives with major emphasis on but not limited to:

1. Encourage the optimum development of land along the Salt River including: residential, commercial or industrial, open space, transportation and circulation, public facilities and services and adjoining land uses;
2. Promote the development of recreational facilities; and
3. Combine flood control with environmental design including the integration of lakes, ponds and streams. (Ord. No. 808, 9/2/76)

Based on the above, the Tempe Center for the Arts meets the intent.

Rio Salado Master Plan

The updated, May 20, 2002, Rio Salado Master Plan designates the subject parcel as a Center for the Arts and an area for sculpture/garden open space. This request conforms to that plan.

Traffic Impact Analysis

The City of Tempe Traffic staff conducted a traffic impact analysis on the subject site based on the potential trips that would be generated from the Arts Center. The trips generated are then added to the existing Average Daily Traffic (ADT) along the Rio Salado Parkway between Priest Drive and Mill Avenue. The Rio Salado Parkway Design Project Traffic Study produced by BRW in 1997 was used as the baseline for the Arts Center Traffic Analysis. Refer to attachment "J" for more detailed information.

Circulation

The main entry to the Tempe Center for the Arts site is located at the west side of the Arts building and approximately 800 feet east of Hardy Drive. Another driveway (ingress / egress) will be located north of the intersection of Hardy Drive and Rio Salado Parkway. Most of the auto circulation is concentrated along the drop off areas north of the main entrance and at the north east corner of the Arts building. On special occasions, buses will be allowed to park at the north end of the parking lot. Along the north side of those parking spaces, pedestrians will be able to use walkways guiding them into the Arts building. Other pedestrian pathways exist along the south bank of Tempe Lake, north and south of the proposed Arts building, and around the proposed Tempe Garden Club Pavilion.

Building Height

The MG Zoning classification has no building height limitation. The maximum height is established through the Planned Area Development (PAD) recordation process. Once a building height is approved by Council and recorded at the Maricopa County Recorders Office, any increases on the approved building height must be re-approved once again (Commission and Council).

Design Goals part of the Architectural Theme

- Become the "home and heart" of the arts in Tempe
- A major civic destination and an icon in the community
- Encourage diverse audiences through special events and the visual arts
- Promote education through the arts to nurture future artists
- Provide accessible design through open space and gardens
- The design to reflect the local/regional historic, climatic, and contextual traditions
- Reflect native traditions combined with colors of the desert landscape
- Provide public gathering spaces through performances, exhibitions, and classrooms
- Integrate environmentally conscious "green building" strategies

Preliminary Planned Area Development

The Preliminary PAD is the overall master plan for the entire Tempe Center for the Arts site, 165,000 s.f. of building area on 25.02 net acres. The intent is to complete the overall plan in phases, Phase I is part of this application. Future phases include administration offices, actor support area, scene storage, classroom/studios, a gallery expansion, a cinema, and an area for seasonal events and sculpture garden.

Final Planned Area Development

The Final Planned Area Development (PAD) is Phase I of the overall master plan. This Final PAD includes a 600-seat theater, a 200-seat studio theater, a visual arts gallery, administrative offices, and other multi-purpose public areas such as landscaping and open areas, all consisting of 84,028 s.f.

Variance

The variance is to waive the required landscape parking islands at the end of 15 parking spaces at the north west side of the parking lot. The intent is to designate this area of the parking lot for automobile parking and for buses when needed. This variance will be added to the Preliminary and Final PAD as part of the overall master plan.

Public Input

A public meeting was held on August 29, 2002 at the Edna Vihel Center – Stage Room (655 East Southern Avenue). About 70 interested citizens attended this meeting and no concerns were expressed regarding the proposed Tempe Center for the Arts.

Conclusion

The proposed zoning change to MG and the Preliminary and Final PAD conform to the goals and objectives of General Plan 2020 and the Rio Salado Master Plan. The requested variance would allow a necessary function for the operation of the Tempe Center for the Arts, a parking area for visitor buses. Staff recommends approval subject to conditions.

RECOMMENDATION: **Approval**

REASON(S) FOR

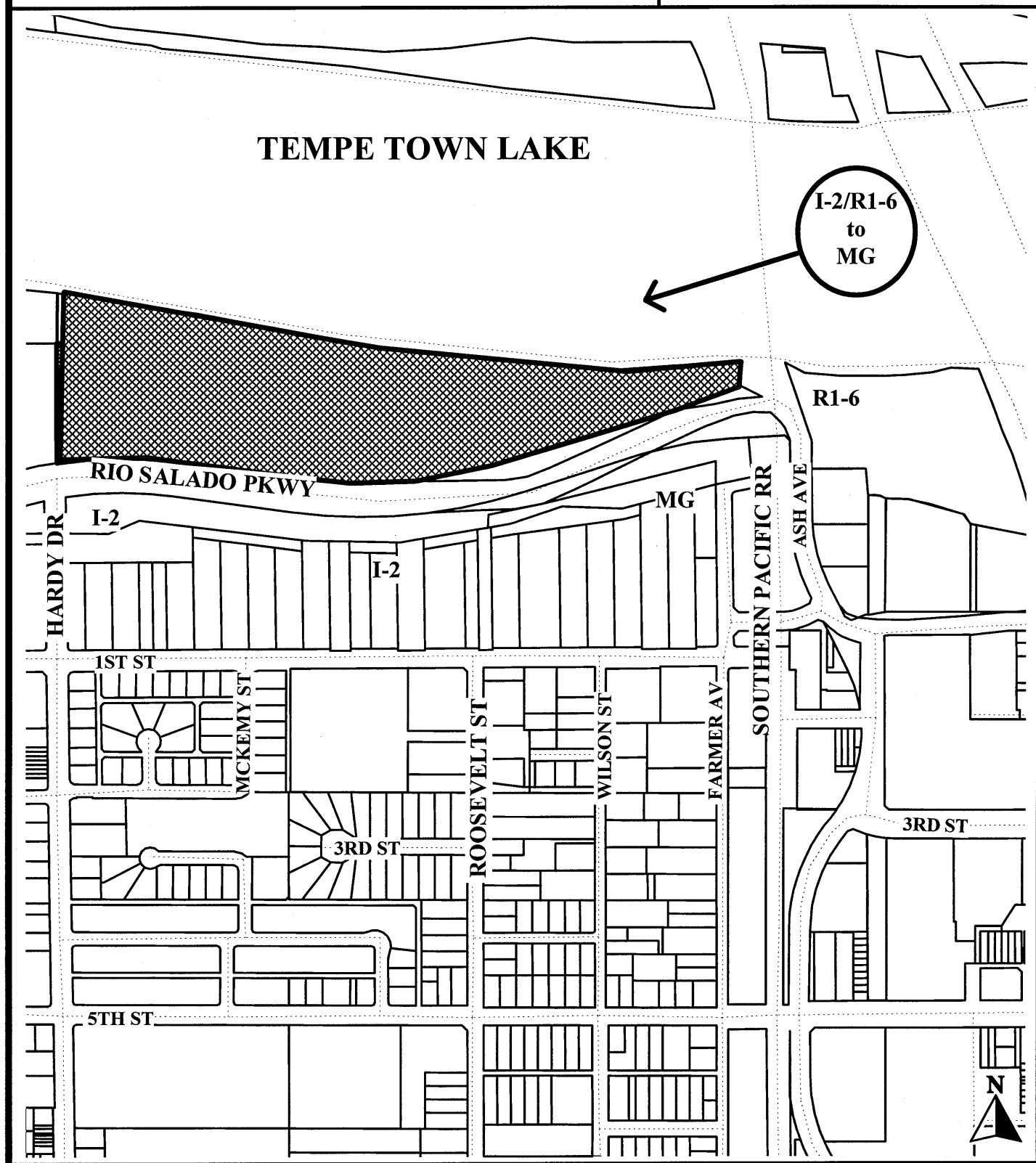
- APPROVAL:**
1. Tempe Center for the Arts, as a recreation area, public facility, and a place for the visual arts and cultural entertainment should enhance the quality of life of Tempe residents.
 2. The requested variance should not be detrimental to surrounding property owners or the neighborhood in general.

**CONDITION(S)
OF APPROVAL:**

1.
 - a. The Public Works Department shall approve all roadway, alley, and utility easement dedications, driveways, storm water retention, and street drainage plans, water and sewer construction drawings, refuse pickup, and off-site improvements.
 - b. Off-site improvements to bring roadways to current standards include:
 - (1) Water lines and fire hydrants
 - (2) Sewer lines
 - (3) Storm drains.
 - (4) Roadway improvements including streetlights, curb, gutter, bikepath, sidewalk, bus shelter, and related amenities.
 - c. Fees to be paid with the development of this project include:
 - (1) Water and sewer development fees.
 - (2) Water and/or sewer participation charges.
 - (3) Inspection and testing fees.
2. All new and existing, as well as on-site and off-site, utility lines (other than transmission lines) shall be placed underground prior to the issuance of an occupancy permit for this development in accordance with the Code of the City of Tempe - Section 25.120.
3. No variances may be created by future property lines without the prior approval from the City of Tempe.
4. A building permit shall be obtained and substantial construction commenced **on or before October 3, 2004** or the zoning shall revert to that in place at the time of application, subject to a public hearing.
5. A valid building permit shall be obtained and substantial construction commenced **on or before October 3, 2003** or the variance shall be deemed null and void.
6. The Preliminary and Final Planned Area Development (PAD's) shall be put into proper engineered format with appropriate signature blanks and recorded **on or before October 3, 2003** with the Maricopa County Recorders' Office through the City of Tempe's Development Services Department. The Planning Division prior to recordation shall review details of the document format.
7. The applicant shall comply with all applicable state and federal laws regarding archeological artifacts on this site.

TEMPE CENTER FOR THE ARTS

**ZON-2002.06
SPD-2002.56**



Location Map

A

Tempe Center for the Arts Letter of Explanation / Intent

Mission Statement

"The Tempe Center for the Arts is envisioned as a vibrant, innovative cultural and artistic venue serving the larger Tempe Community. As the home for Tempe's artists and Cultural Arts Administration, the Center's dynamic and inclusive programs will educate through the arts, continuing the tradition of Tempe providing an enriched quality of life for its citizens."

Design Goals

- The center will serve as the "home and heart" of the arts in Tempe and an incubator for a wide range of arts activities. As a prominent, inspirational model for an arts center, the design will provide a high level of design quality, patron comfort and ample accessibility.
- The Center will serve as a major civic destination and a memorable icon for Tempe. The facility will be a prominent feature on the Tempe skyline and anchor the southwest corner of the Tempe Town Lake.
- The Center's location and design will encourage use by a diverse audience, including park visitors, children, families, students, artists and patrons of theater, music, cinema, and the visual arts in a safe and secure environment.
- In addition to providing an exemplary performance venue, the Center will promote education through the arts to nurture future artists and arts audiences.
- The Center's open and fully accessible design will activate and reinforce the open space park and gardens. The design will provide a variety of outdoor spaces to serve the Rio Salado Parkway, and will establish an appropriate link to surrounding areas such as the Sunset/Riverside neighborhood, Tempe Beach Park, Rio Salado Parkway and the larger Tempe community itself.
- The design aspires to reflect the artists, patrons, and other people who use the center, as well as local/regional historic, climatic, and contextual traditions. The organizing concepts of two indigenous desert builders, the Chacoan and Hohokam peoples will help define the Center's gathering spaces and connection to meandering park trails.
- Native traditions combined with the colors of the desert landscape will inspire the use of a warm material palette to create a welcoming and inspiring atmosphere.
- Outstanding performance, exhibition, classroom, and public gathering spaces will help encourage social interaction and create intimacy between performers, artists and patrons.

B

- A comfortable and acoustically appropriate environment will be created through the integration of environmentally conscious "green building" strategies, and response to key environmental conditions such as climate and site noise concerns.
- The design of spaces shall consider a variety of programming opportunities such as banquets, receptions and conferences.
- Expansion potential, future phasing and other options will be considered to address unaccommodated facility needs.
- Public art shall be integrated with the center and surrounding landscape. The variety of installations shall integrate with the project and range from highly interactive to reflective and discrete.

Concept

Introduction

For an arts center to play a truly important role in a community, it must foster participation by that community. The essence of a great arts center is good communication. Not just from an artist or performer to a passive audience, but an audience participating with the actor, joining together in a creative event.

This Center is a collection of spaces providing areas for development of new projects, education, and community activities in addition to the presentation of artistic endeavors. Spaces will provide for all disciplines of the arts: creative, technical and administrative. Performance venues as well as studios, rehearsal spaces and gallery spaces are included.

General

The theaters and gallery spaces in the TCA project are each intended to create an outstanding environment for the creation and presentation of the arts of music, drama and dance. This requires ensuring that each auditorium supports a dynamic and especially intimate living relationship between performer and audience while at the same time providing excellent facilities for production onstage.

The project includes high quality support spaces for producing the various disciplines described above and comfortable and inviting public areas. In addition to the major performance spaces described in this document the Center includes rehearsal and multi-use spaces to accommodate a variety of users and activities.

Main Theater

The theater seats approximately 600 persons on three levels in a flexible proscenium arrangement. It is designed as a multi-purpose hall accommodating performances of dance, drama, small scale opera and musical theater as well as chamber orchestras and solo musicians. The space combines intimacy between performer and audience in a traditional proscenium arrangement as well as offering great flexibility in the proscenium zone for apron/forestage variability.

Studio Theater

B₁

This is a 200 seat totally flexible space with the capability of 2 levels of surrounding gallery for technical, staging or audience usage. Within the theater any form of actor audience relationship may be developed, with varying degrees of scenic environment. The galleries facilitate the creation of three-dimensional relationship between actor and spectator as well as providing readily available acting areas at differing elevations around the room. Within the body of the room audience seating will be on a reconfigurable and movable platform/seating riser system, which can form arena, thrust, traverse or end-stage formats.

Gallery

The visual art component of the Center contains a variety of dedicated display areas as well as provisions in most of the public spaces for appreciation of various forms of the visual arts. Gallery space is provided for both two and three-dimensional artwork.

Common Areas

The common areas are the general public spaces and both front of house and back of house support areas for the efficient operation of the facility. Common areas provide the connective tissue to the heart of activity in the complex. These common areas consist of two major areas defined as Public and Non Public areas.

Public Areas

Public areas are the major spaces that are inhabited by patrons attending events and their required facility support areas. The lobby is a multipurpose area that will serve as a waiting room, retail and display area, bar, performance area, meeting area, reception area, and as a catering hall. Public restrooms are located on both sides of the common lobby on each level. A private VIP/donor room is located in the front of house (FOH) area that contains a set of restrooms, pantry and some storage to accommodate up to 50 patrons. The ticket office area is the primary point of contact between the public and the facility's staff. Support spaces for the FOH area includes an office for the House Manager and his/her assistants, storage for programs, equipment and movable furniture.

Non-Public Areas:

Administrative offices are provided to house the building management staff. The Center contains additional multi-function rooms one 40'x48' and one 30'x40'. Storage and workshops for the maintenance and repair of building equipment are located in the back of house (BOH) areas. The entrance to the BOH artist area contains a stage door reception area for visitors and deliveries accommodating up to 15 persons. The loading area can accommodate two full sized semi trucks, and an assembly/distribution (scene store) area common to all of the main theatre,

studio theatre, and rehearsal rooms. The BOH area contains the main janitorial and maintenance storage and workrooms.

Exterior Areas

The exterior areas define adjacent provisions to the main complex area. A maintenance shed is provided for tools and equipment needed to maintain the landscaped area.

Summary

The Center will become a place of mixed arts and performance center which will be capable of presenting theatre, dance, mid-sized touring groups, classical music, popular concerts, opera, ballet, etc. which will also house, exhibitions and film works. The spaces described above will prove to make this a unique building, but mainly because of the interaction of the people. It is the active and participating public, which will make it a place that impacts peoples' lives. It will become a living breathing resource for the community.

City of Tempe
3340 South Rural Road
Tempe, AZ 85282
480-350-5287
www.tempe.gov



Cultural Services Administration

July 17, 2002

City of Tempe Planning & Zoning
P.O. Box 5002
Tempe, AZ 85280

Dear Sir or Madam:

This letter regards the City of Tempe Center for the Arts project located at 700 West Rio Salado Parkway. This letter shall serve as authorization allowing Joseph M. Salvatore, AIA, principal of Architekton, architect of record and project manager for the design team to submit the necessary documents to the City of Tempe Planning and Zoning Department for the zoning and design review processes.

I am Jody Ulich, the Deputy Community Services Manager for the City of Tempe and the city employee responsible for the design, construction and operation of the new facility.

Thank you for your assistance. If there are any questions, please feel free to contact me at 480-350-5320.

Sincerely,

A handwritten signature in dark ink, appearing to read 'Jody Ulich', written over a faint circular stamp.

Jody Ulich
Deputy Community Services Manager
Cultural Division

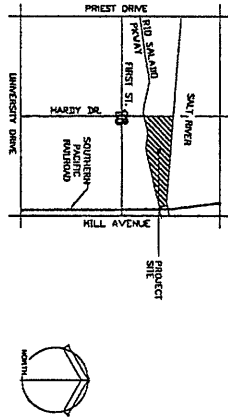
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PRELIMINARY P.A.D. FOR TEMPE CENTER FOR THE ARTS

FINAL P.A.D. FOR TEMPE CENTER FOR THE ARTS - PHASE I

N.E. Quarter of Sect. 16, Township 1 N., Range 4 E. of the Gila & Salt River Base & Meridian, Maricopa County, Arizona

VICINITY MAP



LEGAL DESCRIPTION

The portion of the Northeast Quarter of Section 16, Township 1 North, Range 4 East of the Salt River Meridian, Maricopa County, Arizona, said portion being more particularly described as follows:

Commencing at the East Quarter corner of said Section 16;

Thence, N00°00'25"E a distance of 955.16 feet along The East line of said Section 16;

Thence, S86°52'10"W a distance of 144.24 feet to the POINT OF BEGINNING, said point being on the West Right of Way line of the Southern Pacific Railroad and the North Right of Way line of Rio Salado Parkway;

Thence, continuing S86°52'10"W a distance of 56.43 feet along said North Right of Way line to the beginning of a tangent curve concave South with a radius of 1497.39 feet;

Thence, Westerly along the curve of said North Right of Way a length of 384.14 feet through a central angle of 14°41'55";

Thence, S72°10'15"W a distance of 428.34 feet along said North Right of Way line to the beginning of a tangent curve concave North with a radius of 1844.05 feet;

Thence, Westerly along the curve of said North Right of Way a length of 820.79 feet through a central angle of 25°29'29";

Thence, N82°20'16"W a distance of 444.89 feet along said North Right of Way line to the beginning of a tangent curve concave South with a radius of 1497.39 feet;

Thence, Westerly along the curve of said North Right of Way a length of 449.22 through a central angle of 17°11'20" to the North-South mid-section line of said Section 16;

Thence, N00°47'48"W a distance of 591.08 feet along said mid-section line;

Thence, S81°05'06"E a distance of 510.43 feet;

Thence, S85°11'31"E a distance of 589.18 feet;

Thence, S78°45'27"E a distance of 339.39 feet;

Thence, N8°35'52"E a distance of 16.76 feet to the beginning of a non-tangent curve the radius of which bears N13°56'38"E a distance of 242.16 feet;

Thence, easterly along said curve a length of 96.24 feet through a central angle of 27°46'15";

Thence, N81°10'23"E a distance of 165.95 feet to the beginning of a non-tangent curve the radius of which bears S1°39'19"W a distance of 246.99 feet;

Thence, easterly along said curve a length of 105.34 feet through a central angle of 24°26'13" to the beginning of a reverse curve, the radius of which bears N26°05'32"E a distance of 405.53 feet;

Thence, easterly along said reverse curve a length of 143.74 feet through a central angle of 20°18'31";

Thence, S84°12'59"E a distance of 25.00 feet to the beginning of a tangent curve concave North with a radius of 6633.47 feet;

Thence, easterly along said curve a length of 370.06 feet through a central angle of 3°11'47";

Thence, S87°24'46"E a distance of 96.22 feet;

Thence, N88°37'45"E a distance of 54.44 feet to the beginning of a tangent curve concave North with a radius of 140.69 feet;

Thence, along said curve a length of 71.25 feet through a central angle of 29°00'52" to the West Right of Way line of the Southern Pacific Railroad;

Thence, S5°04'00"E a distance of 132.73 feet along said Railroad Right of Way to the POINT OF BEGINNING.

CERTIFICATION

TO: CITY OF TEMPE
FIRST AMERICAN TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA, ACSM AND NSPS, IN 1999, AND THAT THE SURVEY WAS CONDUCTED BY A LICENSED SURVEYOR IN ACCORDANCE WITH THE PROFESSIONAL STANDARDS ADOPTED BY ALTA, ACSM AND NSPS, AND THAT THE SURVEY MEASUREMENTS WERE MADE IN ACCORDANCE WITH THE MINIMUM ANGLE, DISTANCE AND CLOSURE REQUIREMENTS FOR SURVEY MEASUREMENTS WHICH CONTROL LAND BOUNDARIES FOR ALTA/ACSM LAND TITLE SURVEYS."



EDWIN M. BAILETT, R.L.S.
REGISTRATION NO. 31587 (AZ)
DATE _____
ADOPTED BY THE AMERICAN LAND TITLE ASSOCIATION ON OCTOBER 6, 1999.
ADOPTED BY THE BOARD OF DIRECTORS, AMERICAN CONGRESS ON SURVEYING AND MAPPING ON OCTOBER 20, 1999.
ADOPTED BY THE BOARD OF DIRECTORS, NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS ON OCTOBER 19, 1999.

PROJECT INFORMATION

OWNER: CITY OF TEMPE
31 EAST FIFTH STREET
TEMPE, ARIZONA

TENANT: CITY OF TEMPE - CULTURAL SERVICES
3340 SOUTH RURAL ROAD
TEMPE, ARIZONA 85282

APPLICANT: ARCHITECTON
398 SOUTH MILL AVENUE, SUITE 301
TEMPE, ARIZONA 85281

PROJECT ADDRESS: 700 WEST RIO SALADO PARKWAY
TEMPE, ARIZONA 85281

ZONE: MG

PROPERTY SIZE: 1046,362.3 SQUARE FEET / 24.021 ACRES

TOTAL BUILDING AREA - PHASE I: 84,028 S.F. / 6.2% COVERAGE

GROUND FLOOR AREA - PHASE I: 84,028 S.F. / 6.2% COVERAGE

LANDSCAPE PROVIDED - PHASE I: 840,000 S.F. / 80% COVERAGE

PARKING: REQUIRED PHASE I: 325 SPACES / 10 BUSES

PROVIDED PHASE I: 335 SPACES / 10 BUSES

PROVIDED PHASE I & FUTURE: 678 SPACES / 10 BUSES

BUILDING HEIGHT - PHASE I: 100'-0" A.F.F. / 125'8" A.M.S.L.



OWNERSHIP STATEMENT

THIS IS TO CERTIFY THAT WE HAVE REVIEWED THIS PLAN AND HEREBY APPROVE THE DEVELOPMENT AS SHOWN.

BY: CITY OF TEMPE, COMMUNITY SERVICES

SUBSCRIBED AND SWORN BEFORE ME THIS _____ DAY OF _____, 2002

BY: _____

BY: CITY OF TEMPE

SUBSCRIBED AND SWORN BEFORE ME THIS _____ DAY OF _____, 2002

BY: _____

APPROVALS

APPROVED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF TEMPE ON THIS _____ DAY OF _____, 2002.

BY: _____ DATE _____

ATTEST: CITY CLERK DATE _____

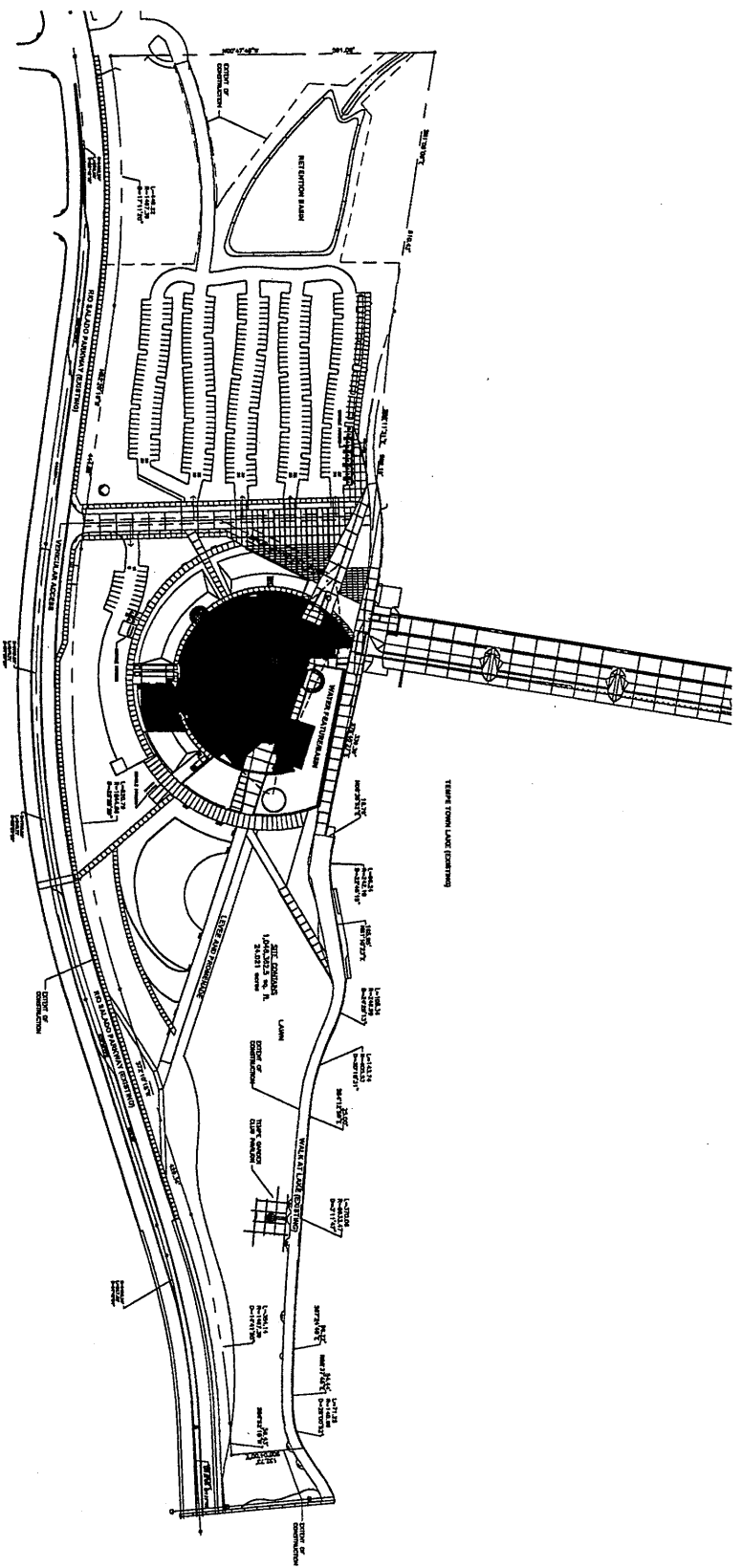
BY: CITY ENGINEER DATE _____

BY: DEVELOPMENT SERVICES DATE _____

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FINAL P.A.D. FOR TEMPE CENTER FOR THE ARTS - PHASE I

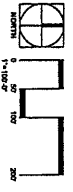
N.E. Quarter of Sect. 16, Township 1 N., Range 4 E. of the Gila & Salt River Base & Meridian, Maricopa County, Arizona



PROPOSED PHASE I 343 SPACES
350 SPACES / 8 BUSES

ARCHITECTON + Barton Myers Associates, Inc.
301 S. MEL AVE., STE. 201
TEMPE, ARIZONA 85283
480.824.4537
www.architeton.com

1025 WESTBROOK DRIVE SUITE 100
LOS ANGELES, CALIFORNIA 90024
310.506.2227
bmyers@bma.com



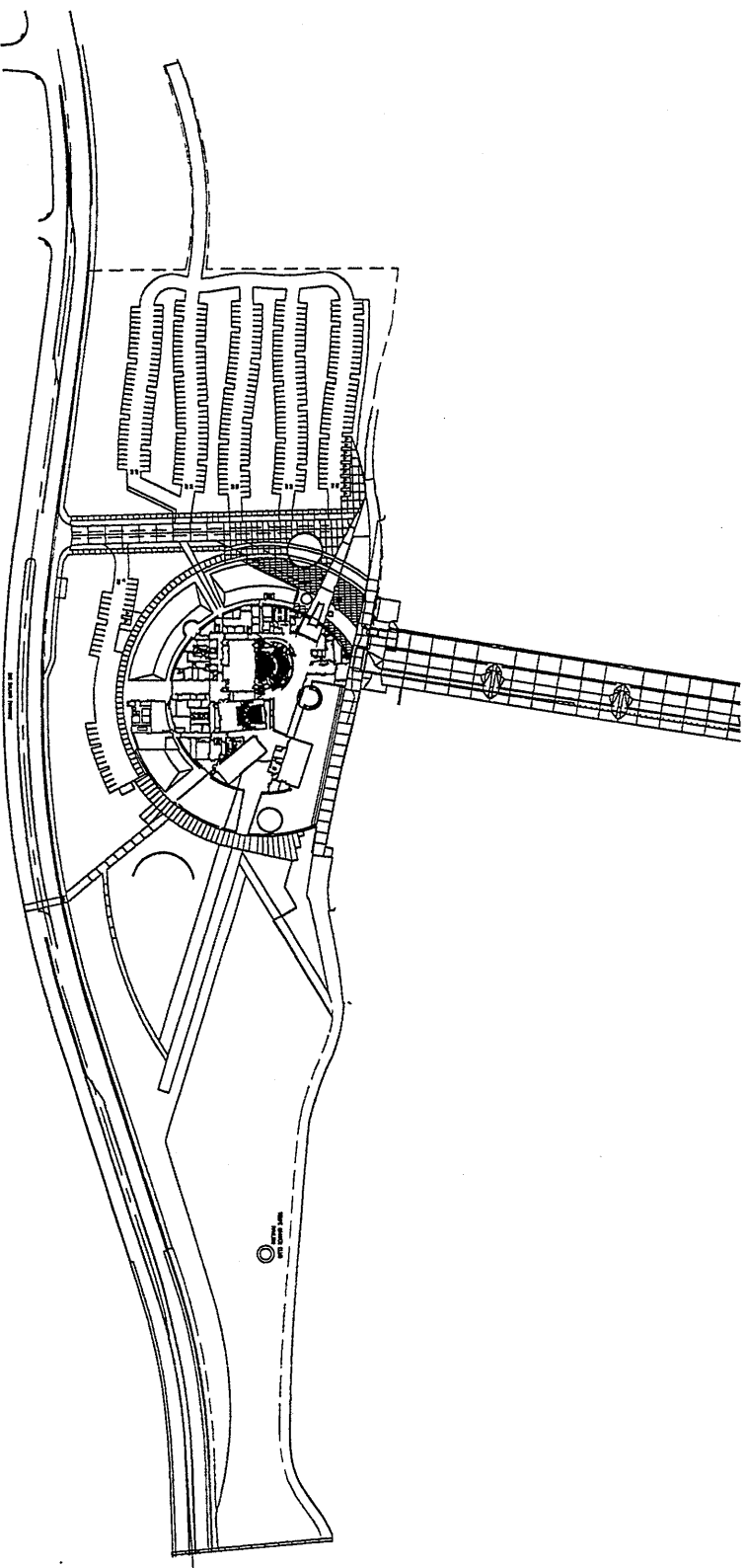
City of Tempe
31 EAST 2ND STREET
TEMPE, ARIZONA 85283



U

FINAL P.A.D. FOR TEMPE CENTER FOR THE ARTS - PHASE I

N.E. Quarter of Sect. 16, Township 1 N., Range 4 E. of the Gila & Salt River Base & Meridian, Maricopa County, Arizona



PROVIDED PHASE I 365 SPACES / 10 BUSES



D.

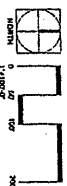
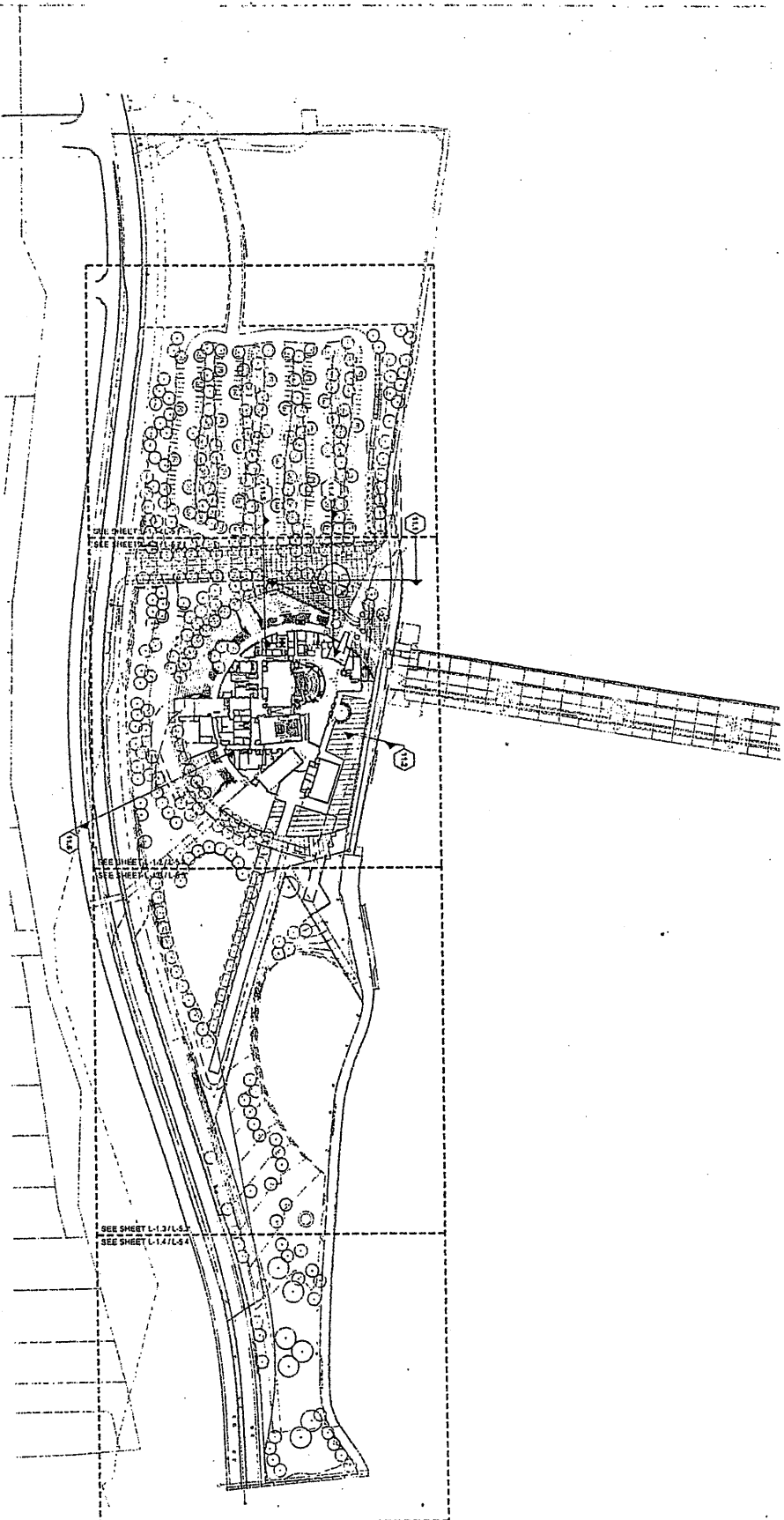
DETAILSHEET

10. - EXISTING CONDITIONS WORK BY OTHERS		
01	Cement masonry	01.001
02	Concrete Cast (Gr. III)	01.001
03	Concrete Reinforced masonry	01.001
04	Concrete Reinforced masonry	01.001
05	Brickwork in finished	01.001
PAYMENTS, RAMP, CHAIRS		
11	Carpentry (Finish) (See Note 10.001)	11.011
12	Carpentry (Finish) (See Note 10.001)	11.011
13	Carpentry (Finish) (See Note 10.001)	11.011
14	Aluminum (See Note 10.001)	11.011
15	Aluminum (See Note 10.001)	11.011
16	Steel (See Note 10.001)	11.011
17	Steel (See Note 10.001)	11.011
18	Steel (See Note 10.001)	11.011
19	Steel (See Note 10.001)	11.011
20	Steel (See Note 10.001)	11.011
21	Steel (See Note 10.001)	11.011
22	Steel (See Note 10.001)	11.011
23	Steel (See Note 10.001)	11.011
24	Steel (See Note 10.001)	11.011
25	Steel (See Note 10.001)	11.011
26	Steel (See Note 10.001)	11.011
27	Steel (See Note 10.001)	11.011
28	Steel (See Note 10.001)	11.011
29	Steel (See Note 10.001)	11.011
30	Steel (See Note 10.001)	11.011
31	Steel (See Note 10.001)	11.011
32	Steel (See Note 10.001)	11.011
33	Steel (See Note 10.001)	11.011
34	Steel (See Note 10.001)	11.011
35	Steel (See Note 10.001)	11.011
36	Steel (See Note 10.001)	11.011
37	Steel (See Note 10.001)	11.011
38	Steel (See Note 10.001)	11.011
39	Steel (See Note 10.001)	11.011
40	Steel (See Note 10.001)	11.011
41	Steel (See Note 10.001)	11.011
42	Steel (See Note 10.001)	11.011
43	Steel (See Note 10.001)	11.011
44	Steel (See Note 10.001)	11.011
45	Steel (See Note 10.001)	11.011
46	Steel (See Note 10.001)	11.011
47	Steel (See Note 10.001)	11.011
48	Steel (See Note 10.001)	11.011
49	Steel (See Note 10.001)	11.011
50	Steel (See Note 10.001)	11.011
51	Steel (See Note 10.001)	11.011
52	Steel (See Note 10.001)	11.011
53	Steel (See Note 10.001)	11.011
54	Steel (See Note 10.001)	11.011
55	Steel (See Note 10.001)	11.011
56	Steel (See Note 10.001)	11.011
57	Steel (See Note 10.001)	11.011
58	Steel (See Note 10.001)	11.011
59	Steel (See Note 10.001)	11.011
60	Steel (See Note 10.001)	11.011
61	Steel (See Note 10.001)	11.011
62	Steel (See Note 10.001)	11.011
63	Steel (See Note 10.001)	11.011
64	Steel (See Note 10.001)	11.011
65	Steel (See Note 10.001)	11.011
66	Steel (See Note 10.001)	11.011
67	Steel (See Note 10.001)	11.011
68	Steel (See Note 10.001)	11.011
69	Steel (See Note 10.001)	11.011
70	Steel (See Note 10.001)	11.011
71	Steel (See Note 10.001)	11.011
72	Steel (See Note 10.001)	11.011
73	Steel (See Note 10.001)	11.011
74	Steel (See Note 10.001)	11.011
75	Steel (See Note 10.001)	11.011
76	Steel (See Note 10.001)	11.011
77	Steel (See Note 10.001)	11.011
78	Steel (See Note 10.001)	11.011
79	Steel (See Note 10.001)	11.011
80	Steel (See Note 10.001)	11.011
81	Steel (See Note 10.001)	11.011
82	Steel (See Note 10.001)	11.011
83	Steel (See Note 10.001)	11.011
84	Steel (See Note 10.001)	11.011
85	Steel (See Note 10.001)	11.011
86	Steel (See Note 10.001)	11.011
87	Steel (See Note 10.001)	11.011
88	Steel (See Note 10.001)	11.011
89	Steel (See Note 10.001)	11.011
90	Steel (See Note 10.001)	11.011
91	Steel (See Note 10.001)	11.011
92	Steel (See Note 10.001)	11.011
93	Steel (See Note 10.001)	11.011
94	Steel (See Note 10.001)	11.011
95	Steel (See Note 10.001)	11.011
96	Steel (See Note 10.001)	11.011
97	Steel (See Note 10.001)	11.011

[illegible][illegible]

SITE LAYOUT AND CONSTRUCTION NOTES

1.0 Existing Conditions Notes	
01	Existing Berth to remain
02	Existing Quay Piers to remain
03	Existing Quay Piers to remain
04	Existing Quay Piers to remain
05	The pier existing adjacent
1.1 Site Demolition Notes	
11	Remove Existing C-4s by pier end out
12	Remove Existing Barge



L-0.2

THE 100

DR



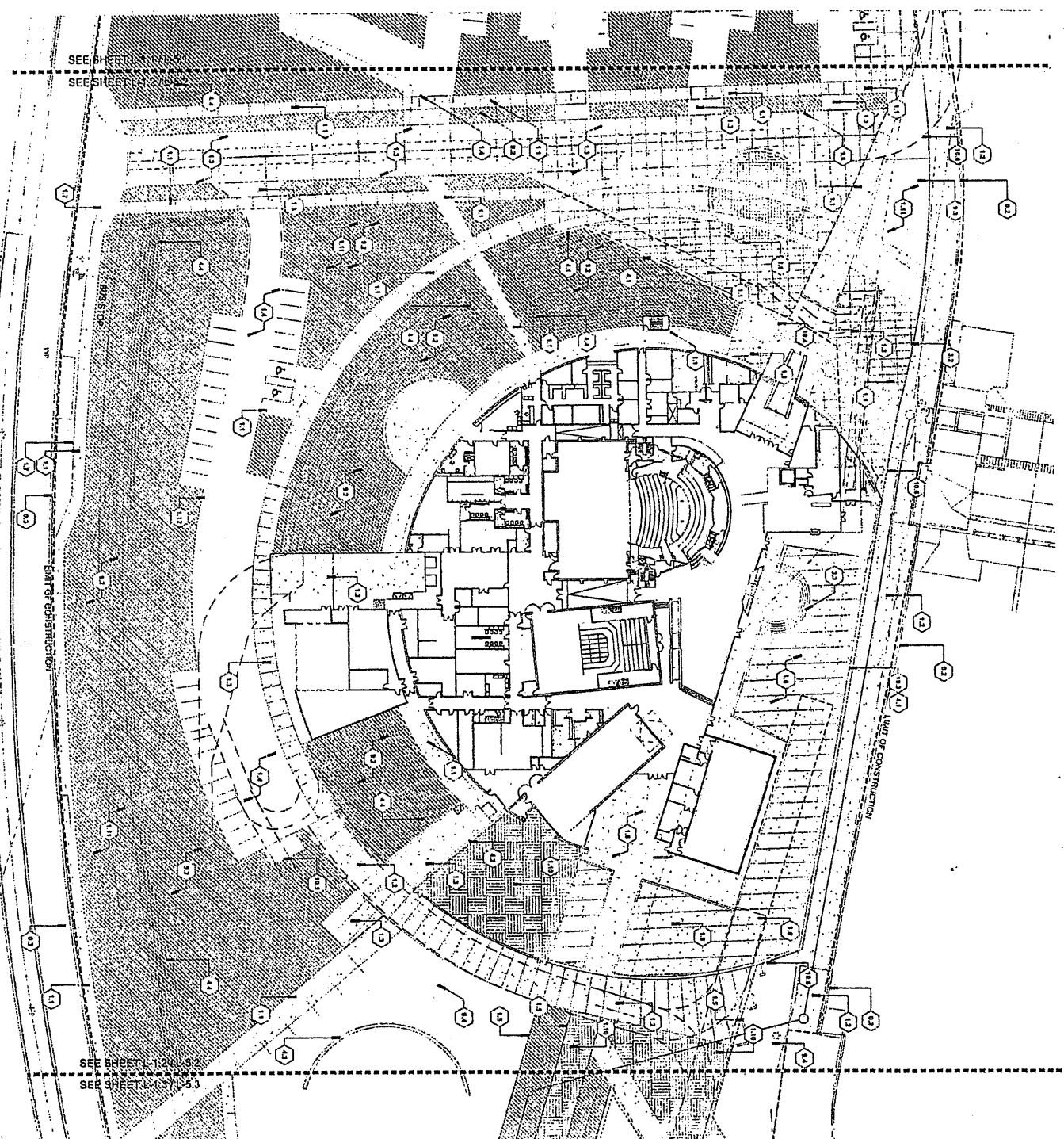
NEW PLAIN

•

641414 1.5

DATE:

3. **Содержание**



SITE DETAIL KEYNOTES:

EXISTING CONDITIONS WORK BY OTHERS

PAVEMENT, MAINT., CURBS

STEPS

STREET WALLS & BARRIERS

SITE FURNITURE

BARBICUE, BARRIERS, FENCING

SITE LIGHTING

PLANTING AND LANDSCAPE

WATERLAINING & BARRIERS

SECTIONS AND ELEVATIONS

SITE LAYOUT AND CONSTRUCTION NOTES

LEGEND:

Planting Area

Lawn Area

Stone Paving

Stone Embankment

Concrete Paving

Stabilized Granite Paving

TECHNICAL DRAWING

DATE: 11/12/12

PROJECT: L-1.2

DESIGNER: [Signature]

CHECKED: [Signature]

APPROVED: [Signature]

NOTES:

1. [Note 1]

2. [Note 2]

3. [Note 3]

4. [Note 4]

5. [Note 5]

6. [Note 6]

7. [Note 7]

8. [Note 8]

9. [Note 9]

10. [Note 10]

11. [Note 11]

12. [Note 12]

13. [Note 13]

14. [Note 14]

15. [Note 15]

16. [Note 16]

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32. [Note 32]

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35. [Note 35]

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37. [Note 37]

38. [Note 38]

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41. [Note 41]

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91. [Note 91]

92. [Note 92]

93. [Note 93]

94. [Note 94]

95. [Note 95]

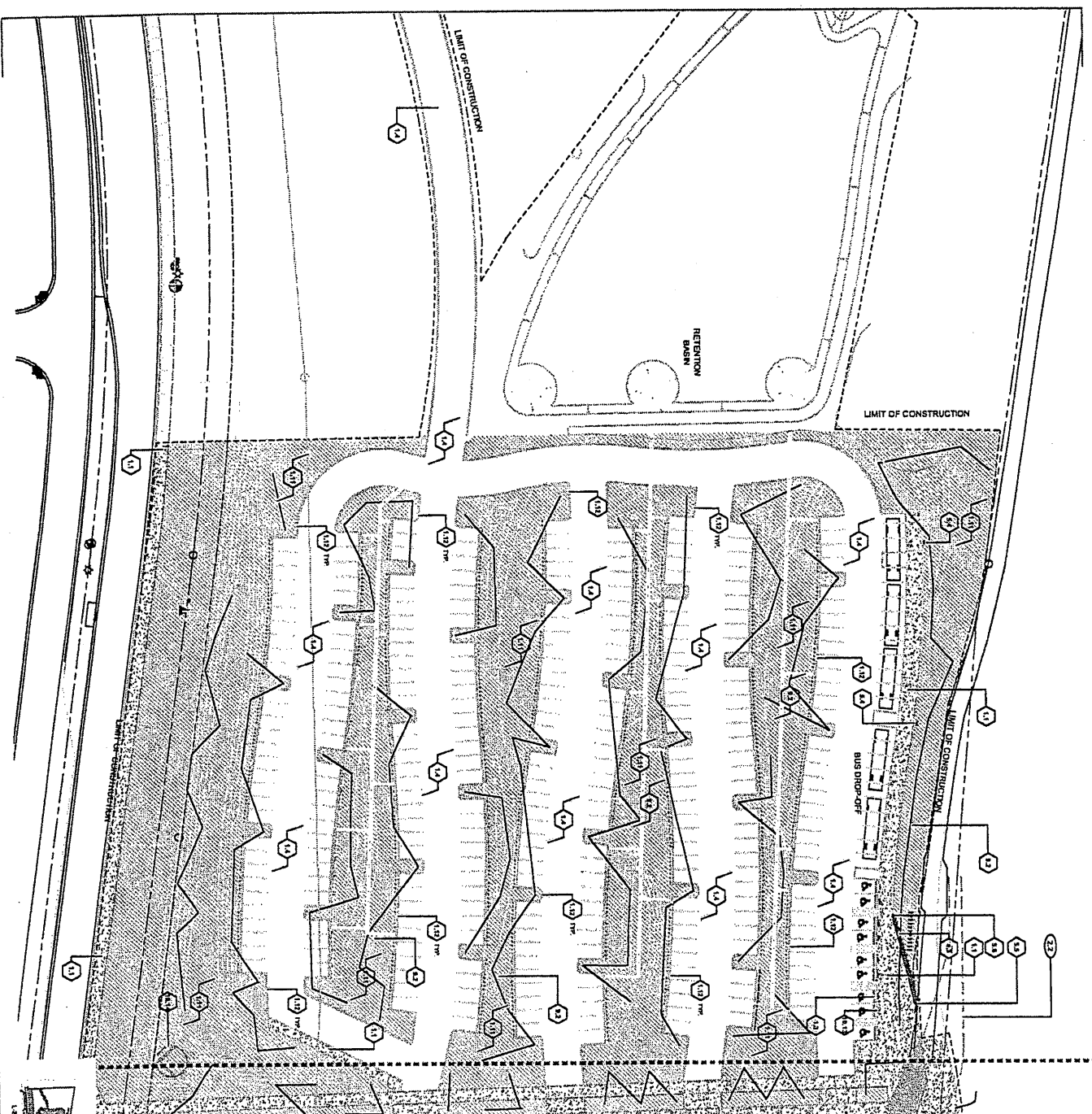
96. [Note 96]

97. [Note 97]

98. [Note 98]

99. [Note 99]

100. [Note 100]



SITE DETAIL KEYNOTES:

ITEM/DETAIL

40 EXISTING CONSTRUCTION WORK AT OTHERS

41 CONCRETE PAVING TYPE A

42 CONCRETE PAVING TYPE B

43 CONCRETE PAVING TYPE C

44 CONCRETE PAVING TYPE D

45 CONCRETE PAVING TYPE E

46 CONCRETE PAVING TYPE F

47 CONCRETE PAVING TYPE G

48 CONCRETE PAVING TYPE H

49 CONCRETE PAVING TYPE I

50 CONCRETE PAVING TYPE J

51 CONCRETE PAVING TYPE K

52 CONCRETE PAVING TYPE L

53 CONCRETE PAVING TYPE M

54 CONCRETE PAVING TYPE N

55 CONCRETE PAVING TYPE O

56 CONCRETE PAVING TYPE P

57 CONCRETE PAVING TYPE Q

58 CONCRETE PAVING TYPE R

59 CONCRETE PAVING TYPE S

60 CONCRETE PAVING TYPE T

61 CONCRETE PAVING TYPE U

62 CONCRETE PAVING TYPE V

63 CONCRETE PAVING TYPE W

64 CONCRETE PAVING TYPE X

65 CONCRETE PAVING TYPE Y

66 CONCRETE PAVING TYPE Z

67 CONCRETE PAVING TYPE AA

68 CONCRETE PAVING TYPE AB

69 CONCRETE PAVING TYPE AC

70 CONCRETE PAVING TYPE AD

71 CONCRETE PAVING TYPE AE

72 CONCRETE PAVING TYPE AF

73 CONCRETE PAVING TYPE AG

74 CONCRETE PAVING TYPE AH

75 CONCRETE PAVING TYPE AI

76 CONCRETE PAVING TYPE AJ

77 CONCRETE PAVING TYPE AK

78 CONCRETE PAVING TYPE AL

79 CONCRETE PAVING TYPE AM

80 CONCRETE PAVING TYPE AN

81 CONCRETE PAVING TYPE AO

82 CONCRETE PAVING TYPE AP

83 CONCRETE PAVING TYPE AQ



SITE LAYOUT AND CONSTRUCTION NOTES

1. All construction shall be in accordance with the latest edition of the International Building Code (IBC) and the International Residential Code (IRC).

2. All materials shall be of the highest quality and shall be tested and approved by a qualified testing agency.

3. All work shall be completed within the specified time frame and shall be subject to inspection and approval by the local building department.

4. All construction shall be in accordance with the latest edition of the International Building Code (IBC) and the International Residential Code (IRC).

5. All materials shall be of the highest quality and shall be tested and approved by a qualified testing agency.

6. All work shall be completed within the specified time frame and shall be subject to inspection and approval by the local building department.

7. All construction shall be in accordance with the latest edition of the International Building Code (IBC) and the International Residential Code (IRC).

8. All materials shall be of the highest quality and shall be tested and approved by a qualified testing agency.

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10. All construction shall be in accordance with the latest edition of the International Building Code (IBC) and the International Residential Code (IRC).

11. All materials shall be of the highest quality and shall be tested and approved by a qualified testing agency.

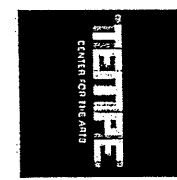
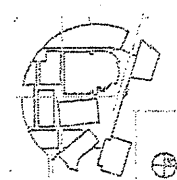
12. All work shall be completed within the specified time frame and shall be subject to inspection and approval by the local building department.

13. All construction shall be in accordance with the latest edition of the International Building Code (IBC) and the International Residential Code (IRC).

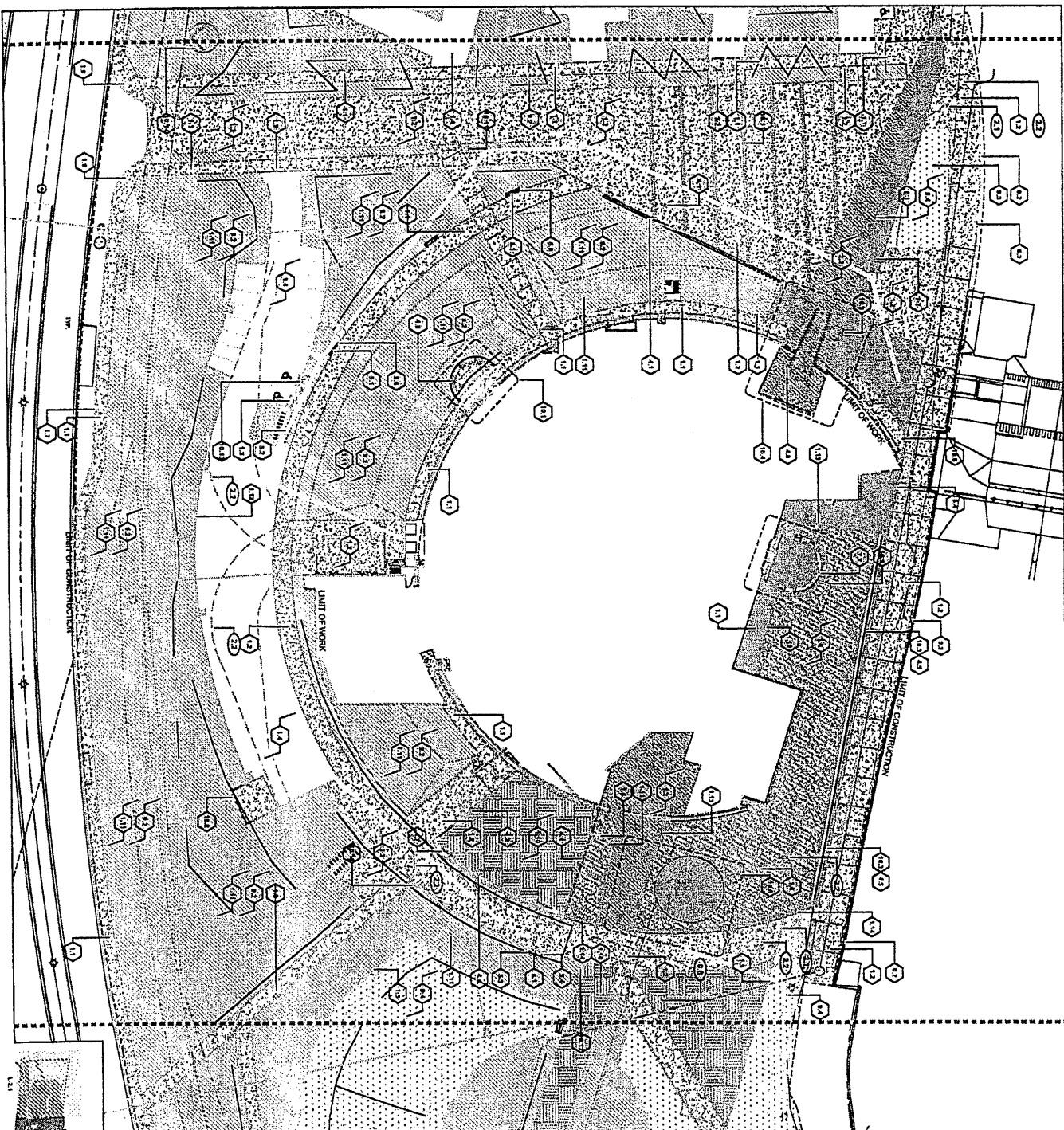
14. All materials shall be of the highest quality and shall be tested and approved by a qualified testing agency.

15. All work shall be completed within the specified time frame and shall be subject to inspection and approval by the local building department.

E1



L-2.1



SITE DETAIL REVISIONS:

DATE: 10/10/2011

1. EXISTING CONSTRUCTION WORK BY OTHERS

1.1. Existing Building Footprint

1.2. Existing Parking Spaces

1.3. Existing Site Features

1.4. Existing Utility Lines

1.5. Existing Topography

1.6. Existing Landscaping

1.7. Existing Fencing

1.8. Existing Driveways

1.9. Existing Access Points

1.10. Existing Stormwater Management

1.11. Existing Security Features

1.12. Existing Signage

1.13. Existing Lighting

1.14. Existing Fire Protection

1.15. Existing Environmental Features

1.16. Existing Historical Resources

1.17. Existing Cultural Resources

1.18. Existing Archaeological Resources

1.19. Existing Paleontological Resources

1.20. Existing Biological Resources

1.21. Existing Geological Resources

1.22. Existing Oceanographic Resources

1.23. Existing Atmospheric Resources

1.24. Existing Socioeconomic Resources

1.25. Existing Visual Resources

1.26. Existing Noise Resources

1.27. Existing Air Quality Resources

1.28. Existing Energy Resources

1.29. Existing Water Resources

1.30. Existing Land Use Resources

1.31. Existing Planning Resources

1.32. Existing Policy Resources

1.33. Existing Regulatory Resources

1.34. Existing Technical Resources

1.35. Existing Financial Resources

1.36. Existing Human Resources

1.37. Existing Information Resources

1.38. Existing Management Resources

1.39. Existing Monitoring Resources

1.40. Existing Evaluation Resources

1.41. Existing Reporting Resources

1.42. Existing Communication Resources

1.43. Existing Training Resources

2. NEW CONSTRUCTION

2.1. New Building Footprint

2.2. New Parking Spaces

2.3. New Site Features

2.4. New Utility Lines

2.5. New Topography

2.6. New Landscaping

2.7. New Fencing

2.8. New Driveways

3. EXISTING UTILITIES

3.1. Water

3.2. Sewer

3.3. Gas

3.4. Electric

3.5. Telecommunications

3.6. Other

3.7. Unknown

3.8. Not Shown

4. LEGEND

4.1. Building Footprint

4.2. Parking Spaces

4.3. Site Features

4.4. Utility Lines

4.5. Topography

4.6. Landscaping

4.7. Fencing

4.8. Driveways

5. NOTES

5.1. All construction shall conform to the latest edition of the International Building Code (IBC).

5.2. All parking spaces shall be constructed to meet the requirements of the International Parking Code (IPC).

5.3. All site features shall be installed in accordance with the manufacturer's instructions.

5.4. All utility lines shall be installed in accordance with the applicable codes and standards.

5.5. All topography shall be established in accordance with the survey data.

5.6. All landscaping shall be installed in accordance with the landscape plan.

5.7. All fencing shall be installed in accordance with the site plan.

5.8. All driveways shall be installed in accordance with the site plan.

6. APPENDICES

6.1. Appendix A: Site Plan

6.2. Appendix B: Parking Plan

6.3. Appendix C: Site Features Plan

6.4. Appendix D: Utility Plan

6.5. Appendix E: Topography Plan

6.6. Appendix F: Landscaping Plan

6.7. Appendix G: Fencing Plan

6.8. Appendix H: Driveway Plan

7. INDEX

7.1. Index A: Site Plan

7.2. Index B: Parking Plan

7.3. Index C: Site Features Plan

7.4. Index D: Utility Plan

7.5. Index E: Topography Plan

7.6. Index F: Landscaping Plan

7.7. Index G: Fencing Plan

7.8. Index H: Driveway Plan

8. REVISIONS

8.1. Revision 1: Initial Design

8.2. Revision 2: Final Design

8.3. Revision 3: Construction Documents

8.4. Revision 4: As-Built

8.5. Revision 5: Final

8.6. Revision 6: Not Shown

8.7. Revision 7: Not Shown

8.8. Revision 8: Not Shown

9. CONTACT INFORMATION

9.1. Project Manager

9.2. Designer

9.3. Checker

9.4. Approver

9.5. Client Representative

9.6. Consultant

9.7. Other

9.8. Not Shown

10. GLOSSARY

10.1. Building Footprint

10.2. Parking Spaces

10.3. Site Features

10.4. Utility Lines

10.5. Topography

10.6. Landscaping

10.7. Fencing

10.8. Driveways

11. REFERENCES

11.1. International Building Code (IBC)

11.2. International Parking Code (IPC)

11.3. International Site Features Code (ISFC)

11.4. International Utility Code (IUC)

11.5. International Topography Code (ITC)

11.6. International Landscaping Code (ILC)

11.7. International Fencing Code (IFC)

11.8. International Driveway Code (IDC)

12. APPENDICES

12.1. Appendix A: Site Plan

12.2. Appendix B: Parking Plan

12.3. Appendix C: Site Features Plan

12.4. Appendix D: Utility Plan

12.5. Appendix E: Topography Plan

12.6. Appendix F: Landscaping Plan

12.7. Appendix G: Fencing Plan

12.8. Appendix H: Driveway Plan

13. INDEX

13.1. Index A: Site Plan

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13.3. Index C: Site Features Plan

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13.5. Index E: Topography Plan

13.6. Index F: Landscaping Plan

13.7. Index G: Fencing Plan

13.8. Index H: Driveway Plan

14. REVISIONS

14.1. Revision 1: Initial Design

14.2. Revision 2: Final Design

14.3. Revision 3: Construction Documents

14.4. Revision 4: As-Built

14.5. Revision 5: Final

14.6. Revision 6: Not Shown

14.7. Revision 7: Not Shown

14.8. Revision 8: Not Shown

15. CONTACT INFORMATION

15.1. Project Manager

15.2. Designer

15.3. Checker

15.4. Approver

15.5. Client Representative

15.6. Consultant

15.7. Other

15.8. Not Shown

16. GLOSSARY

16.1. Building Footprint

16.2. Parking Spaces

16.3. Site Features

16.4. Utility Lines

16.5. Topography

16.6. Landscaping

16.7. Fencing

16.8. Driveways

17. REFERENCES

17.1. International Building Code (IBC)

17.2. International Parking Code (IPC)

17.3. International Site Features Code (ISFC)

17.4. International Utility Code (IUC)

17.5. International Topography Code (ITC)

17.6. International Landscaping Code (ILC)

17.7. International Fencing Code (IFC)

17.8. International Driveway Code (IDC)

18. APPENDICES

18.1. Appendix A: Site Plan

18.2. Appendix B: Parking Plan

18.3. Appendix C: Site Features Plan

18.4. Appendix D: Utility Plan

18.5. Appendix E: Topography Plan

18.6. Appendix F: Landscaping Plan

18.7. Appendix G: Fencing Plan

18.8. Appendix H: Driveway Plan

19. INDEX

19.1. Index A: Site Plan

19.2. Index B: Parking Plan

19.3. Index C: Site Features Plan

19.4. Index D: Utility Plan

19.5. Index E: Topography Plan

19.6. Index F: Landscaping Plan

19.7. Index G: Fencing Plan

19.8. Index H: Driveway Plan

20. REVISIONS

20.1. Revision 1: Initial Design

20.2. Revision 2: Final Design

20.3. Revision 3: Construction Documents

20.4. Revision 4: As-Built

20.5. Revision 5: Final

20.6. Revision 6: Not Shown

20.7. Revision 7: Not Shown

20.8. Revision 8: Not Shown

21. CONTACT INFORMATION

21.1. Project Manager

21.2. Designer

21.3. Checker

21.4. Approver

21.5. Client Representative

21.6. Consultant

21.7. Other

21.8. Not Shown

22. GLOSSARY

22.1. Building Footprint

22.2. Parking Spaces

22.3. Site Features

22.4. Utility Lines

22.5. Topography

22.6. Landscaping

22.7. Fencing

22.8. Driveways

23. REFERENCES

23.1. International Building Code (IBC)

23.2. International Parking Code (IPC)

23.3. International Site Features Code (ISFC)

23.4. International Utility Code (IUC)

23.5. International Topography Code (ITC)

23.6. International Landscaping Code (ILC)

23.7. International Fencing Code (IFC)

23.8. International Driveway Code (IDC)

24. APPENDICES

24.1. Appendix A: Site Plan

24.2. Appendix B: Parking Plan

24.3. Appendix C: Site Features Plan

24.4. Appendix D: Utility Plan

24.5. Appendix E: Topography Plan

24.6. Appendix F: Landscaping Plan

24.7. Appendix G: Fencing Plan

24.8. Appendix H: Driveway Plan

25. INDEX

25.1. Index A: Site Plan

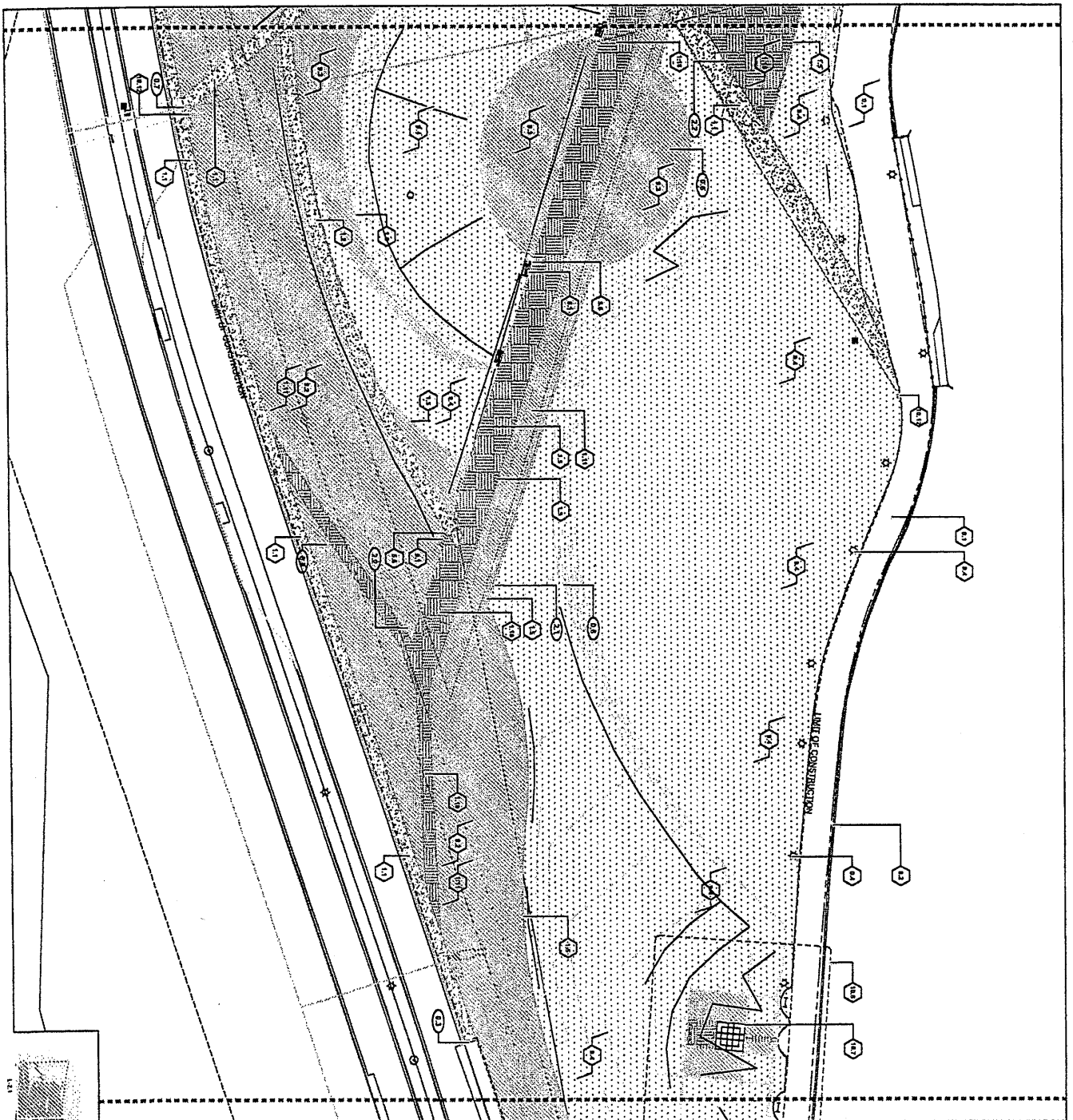
25.2. Index B: Parking Plan

25.3. Index C: Site Features Plan

25.4. Index D: Utility Plan

25.5. Index E: Topography Plan

25.6. Index F: Landscaping Plan



SITE DETAIL KEYNOTES:

DATE: 11/11/11

EXISTING CONDITIONS WORK BY OTHERS

11/11/11

PAVEMENT, ASHES, CURBS

11/11/11

LANDSCAPE

11/11/11

UTILITIES

11/11/11

WALLS & PARTITIONS

11/11/11

ROOFING

11/11/11

MECHANICAL

11/11/11

LANDSCAPE

11/11/11

UTILITIES

11/11/11

WALLS & PARTITIONS

11/11/11

ROOFING

11/11/11

MECHANICAL

11/11/11

LANDSCAPE

11/11/11

UTILITIES

11/11/11

WALLS & PARTITIONS

11/11/11

ROOFING

11/11/11

MECHANICAL

11/11/11

LANDSCAPE

11/11/11

UTILITIES

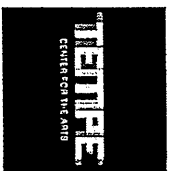
11/11/11

WALLS & PARTITIONS

11/11/11

ROOFING

11/11/11



PHOTOGRAPH BY: [Name]

DATE: 11/11/11

SCALE: 1" = 10'

PROJECT: [Name]

DESIGNER: [Name]

CONTRACTOR: [Name]

DATE: 11/11/11

SCALE: 1" = 10'

PROJECT: [Name]

DESIGNER: [Name]

CONTRACTOR: [Name]

DATE: 11/11/11

SCALE: 1" = 10'

PROJECT: [Name]

DESIGNER: [Name]

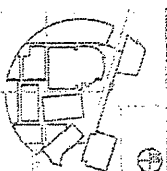
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DATE: 11/11/11

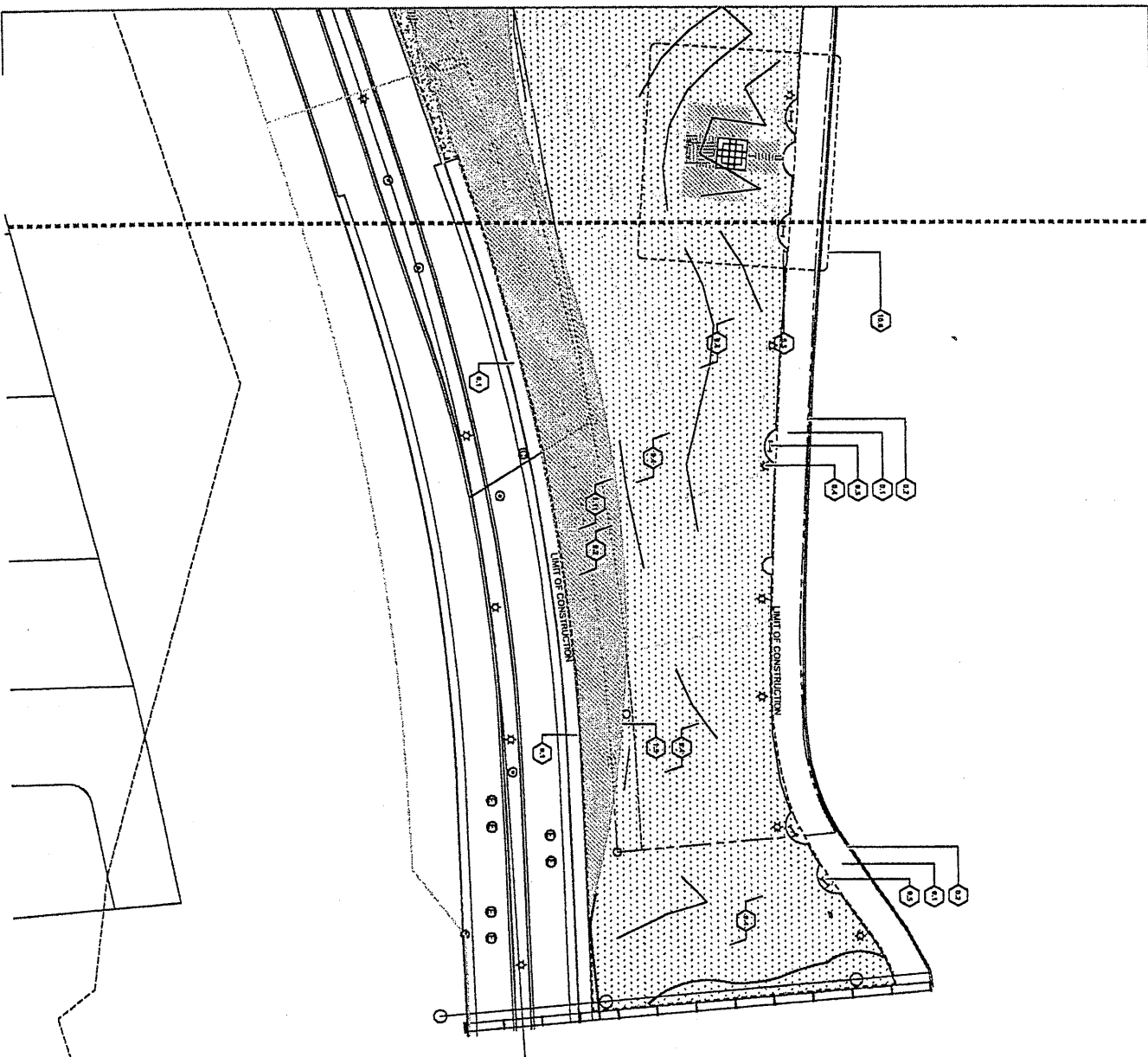
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E3



L-2.3



SITE DETAIL KEYNOTES:

DETAILS

EXISTING CONDITIONS FROM SURVEY

EXISTING

PROPOSED CONDITIONS FROM SURVEY

PROPOSED

PROPOSED CONDITIONS FROM SURVEY

PROPOSED

PROPOSED CONDITIONS FROM SURVEY

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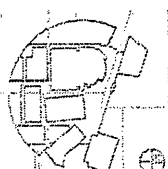
PROPOSED CONDITIONS FROM SURVEY

PROPOSED

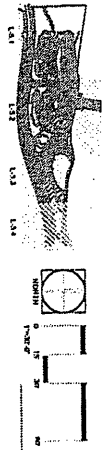
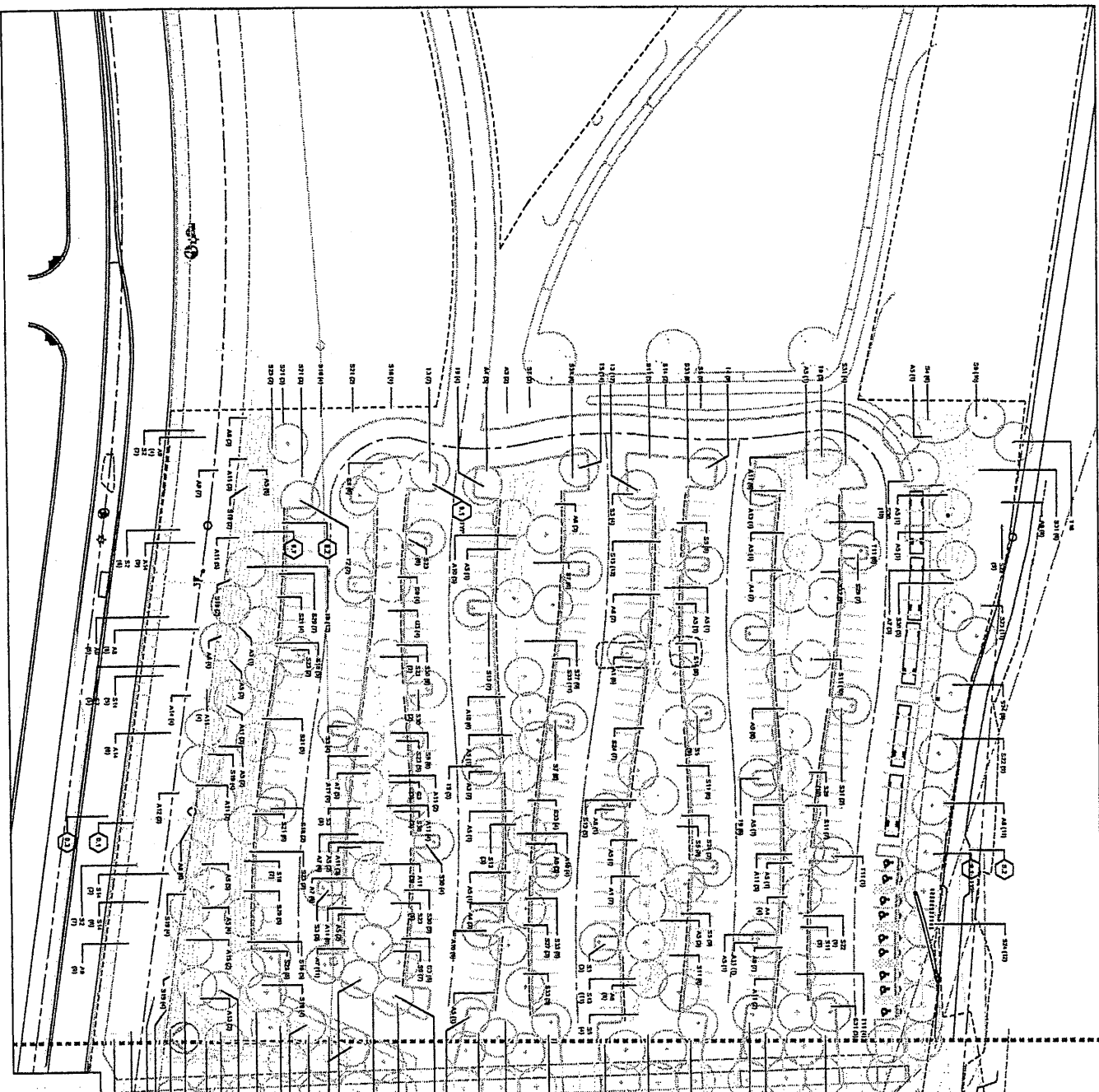


THE TEMPLE
CENTRICO THE ARTS

F4



DATE: _____
DRAWN BY: _____
CHECKED BY: _____
APPROVED BY: _____
L-2.4



SITE DETAIL KEYNOTES:

PLANT LIST

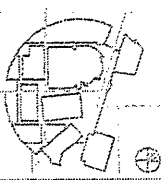
PLANTING AND LANDSCAPE	QUANTITY	PLANTING AND LANDSCAPE	QUANTITY
1. Tree (10' x 12')	100	10. Tree (10' x 12')	100
2. Tree (12' x 14')	200	11. Tree (12' x 14')	200
3. Tree (14' x 16')	300	12. Tree (14' x 16')	300
4. Tree (16' x 18')	400	13. Tree (16' x 18')	400
5. Tree (18' x 20')	500	14. Tree (18' x 20')	500
6. Tree (20' x 22')	600	15. Tree (20' x 22')	600
7. Tree (22' x 24')	700	16. Tree (22' x 24')	700
8. Tree (24' x 26')	800	17. Tree (24' x 26')	800
9. Tree (26' x 28')	900	18. Tree (26' x 28')	900
19. Tree (28' x 30')	1000	19. Tree (28' x 30')	1000

SITE LAYOUT AND CONSTRUCTION NOTES

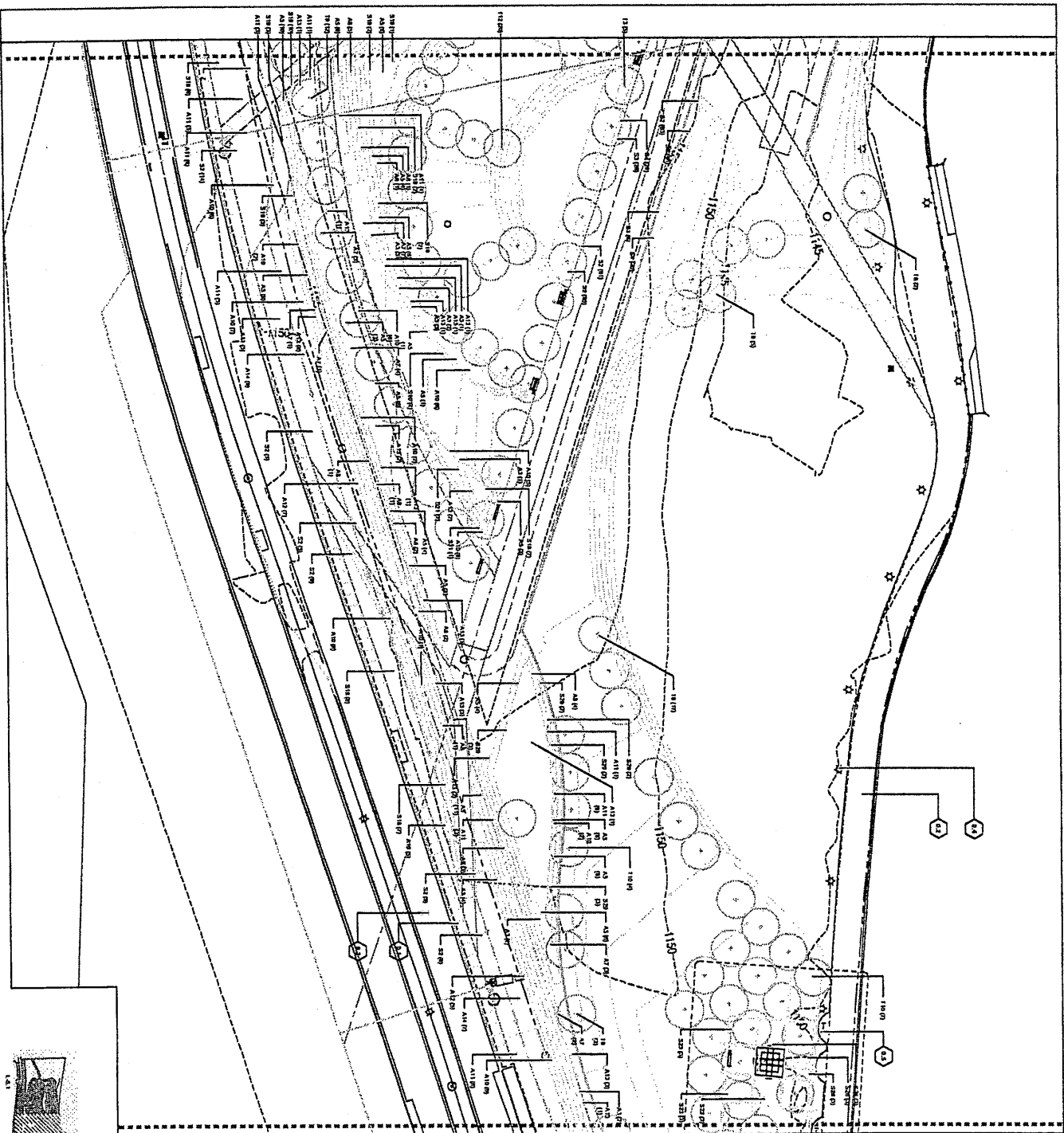
1. All construction shall be in accordance with the latest edition of the International Building Code (IBC) and the International Residential Code (IRC).
2. All foundation work shall be completed prior to the start of the main construction.
3. All exterior walls shall be finished with a minimum of 1/2" of insulation.
4. All roof systems shall be installed in accordance with the manufacturer's instructions.
5. All mechanical systems shall be installed in accordance with the manufacturer's instructions.
6. All electrical systems shall be installed in accordance with the National Electrical Code (NEC).
7. All plumbing systems shall be installed in accordance with the International Plumbing Code (IPC).
8. All fire protection systems shall be installed in accordance with the International Fire Code (IFC).
9. All landscaping shall be completed prior to the start of the main construction.
10. All site work shall be completed prior to the start of the main construction.



E5



L-5.1



SITE DETAIL KEYNOTES:

DATE: 10/10/2011

EXISTING CONDITIONS WORK BY OTHERS

10/10/2011

PLANTING AND LANDSCAPE

10/10/2011

PLANT LIST

10/10/2011

PLANT LIST

10/10/2011

PLANT LIST

10/10/2011

PLANT LIST

10/10/2011

PLANT LIST

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10/10/2011

PLANT LIST

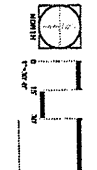
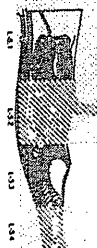
10/10/2011

PLANT LIST

10/10/2011

PLANT LIST

10/10/2011



CONSTRUCTION MANUAL

10/10/2011

10/10/2011

10/10/2011

10/10/2011

10/10/2011

10/10/2011

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10/10/2011

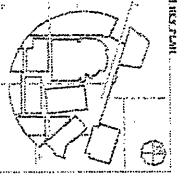
10/10/2011

10/10/2011

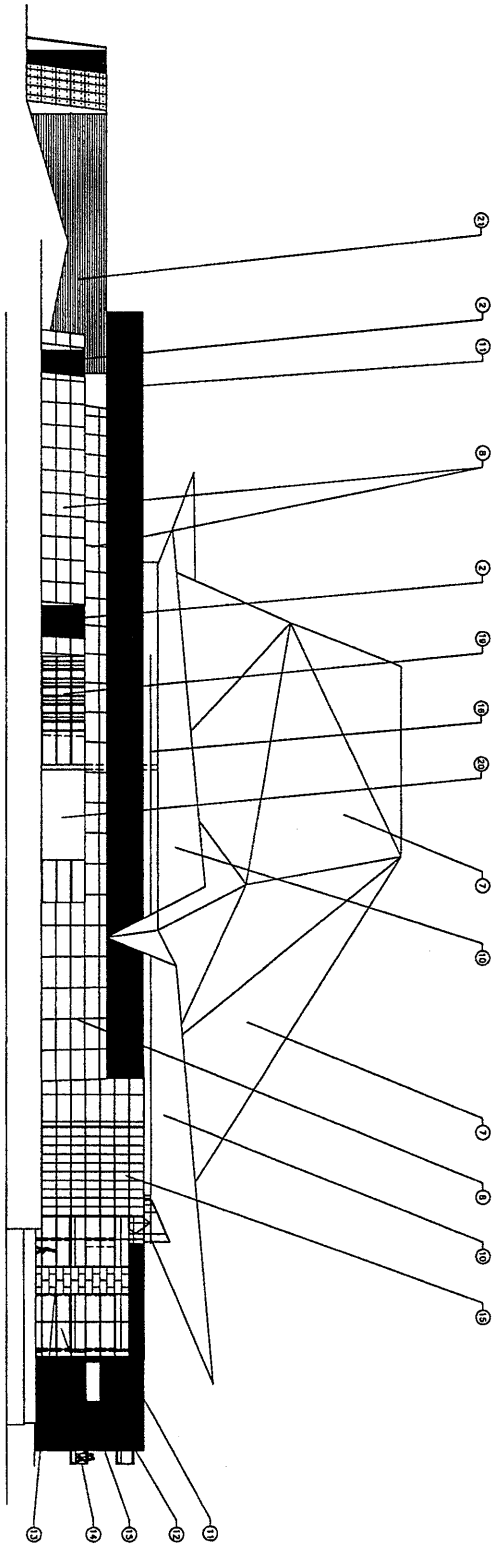
10/10/2011

10/10/2011

E7

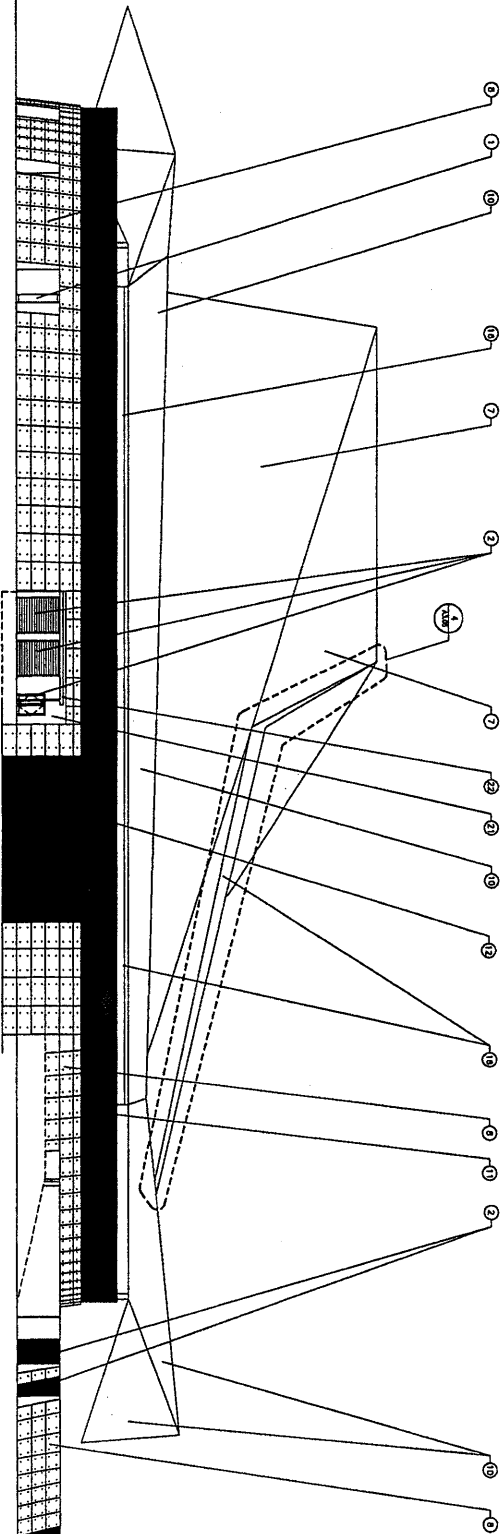


L-5.3

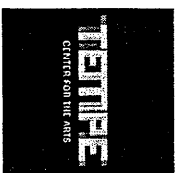


1. ROOF, SEE ELEVATION 1000
2. ROOF, SEE ELEVATION 1000
3. WALL, SEE ELEVATION 1000
4. WALL, SEE ELEVATION 1000
5. WALL, SEE ELEVATION 1000
6. WALL, SEE ELEVATION 1000
7. WALL, SEE ELEVATION 1000
8. WALL, SEE ELEVATION 1000
9. WALL, SEE ELEVATION 1000
10. WALL, SEE ELEVATION 1000
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16. WALL, SEE ELEVATION 1000
17. WALL, SEE ELEVATION 1000
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19. WALL, SEE ELEVATION 1000
20. WALL, SEE ELEVATION 1000
21. WALL, SEE ELEVATION 1000
22. WALL, SEE ELEVATION 1000

EAST ELEVATION
1/8" = 1'-0"



SOUTH ELEVATION
1/8" = 1'-0"



DESIGNED BY JEFFREY M. HARRIS

DATE: 10/1/88
BY: J.M.H.
CHECKED: J.M.H.
APPROVED: J.M.H.

PROJECT TEAM

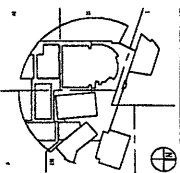
ARCHITECT: JEFFREY M. HARRIS
1000 10TH AVENUE, SUITE 100
DENVER, CO 80202
TEL: 333-1111
FAX: 333-1111
PROJECT NO. 1000

REVISIONS

NO.	DATE	DESCRIPTION
1	10/1/88	ISSUED FOR PERMIT
2	10/1/88	ISSUED FOR PERMIT
3	10/1/88	ISSUED FOR PERMIT



KEY PLAN



SHEET TITLE

TEMPLE CENTER

1000 10TH AVENUE

DENVER, CO 80202

SCALE: 1/8" = 1'-0"

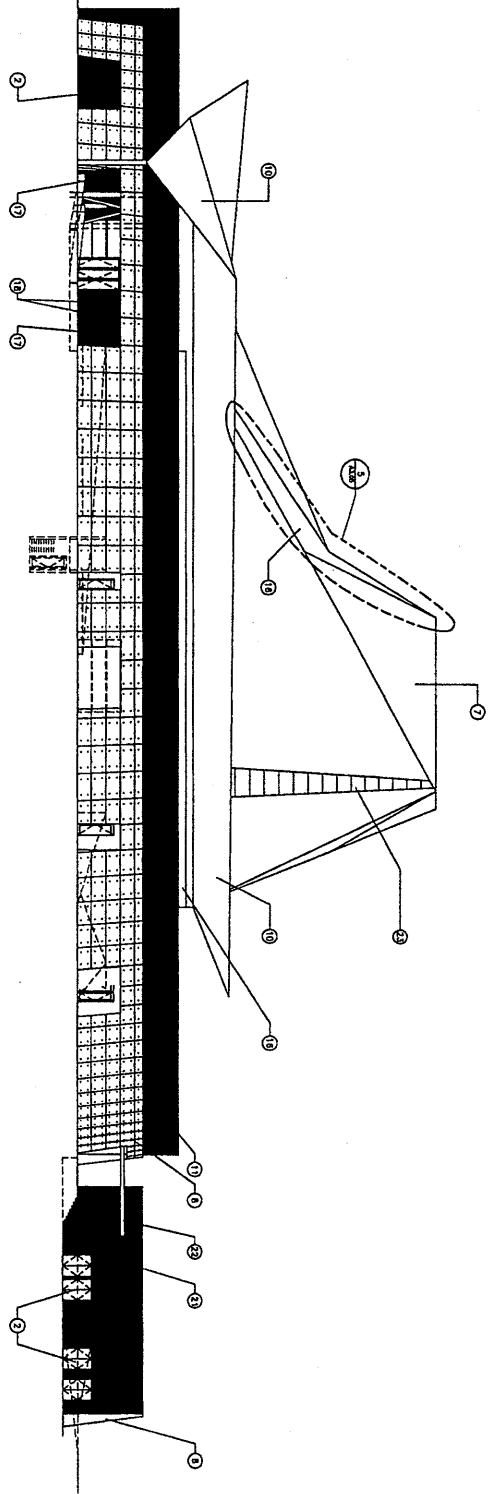
DATE: 10/1/88

DESIGNED BY: J.M.H.

CHECKED BY: J.M.H.

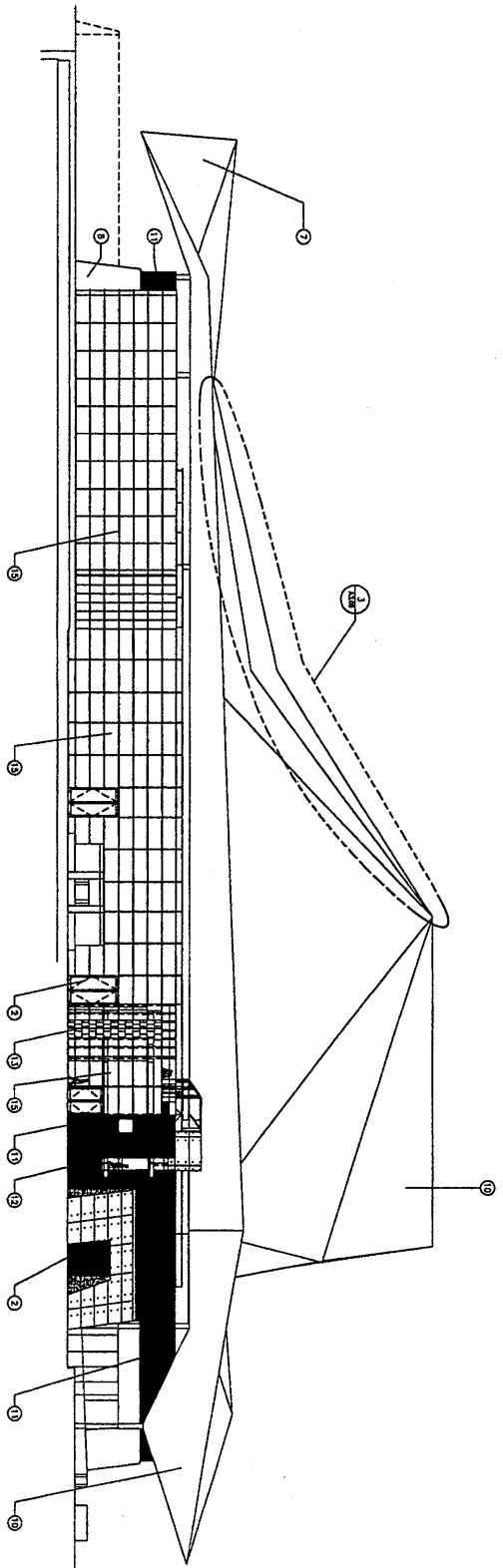
APPROVED BY: J.M.H.

PROJECT NO. 1000



WEST ELEVATION
1/8" = 1'-0"

- 1 WINDOW, SEE WINDOW SCHEDULE
- 2 DOOR, SEE DOOR SCHEDULE
- 3 OPEN, SEE OPEN SCHEDULE
- 4 OPEN, SEE OPEN SCHEDULE
- 5 STEEL COLUMN, SEE STRUCTURAL DRAWINGS
- 6 STEEL JOIST, SEE STRUCTURAL DRAWINGS
- 7 STEEL JOIST, SEE STRUCTURAL DRAWINGS
- 8 STEEL JOIST, SEE STRUCTURAL DRAWINGS
- 9 STEEL JOIST, SEE STRUCTURAL DRAWINGS
- 10 STEEL JOIST, SEE STRUCTURAL DRAWINGS
- 11 STEEL JOIST, SEE STRUCTURAL DRAWINGS
- 12 STEEL JOIST, SEE STRUCTURAL DRAWINGS
- 13 STEEL JOIST, SEE STRUCTURAL DRAWINGS
- 14 STEEL JOIST, SEE STRUCTURAL DRAWINGS
- 15 STEEL JOIST, SEE STRUCTURAL DRAWINGS
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- 19 STEEL JOIST, SEE STRUCTURAL DRAWINGS
- 20 STEEL JOIST, SEE STRUCTURAL DRAWINGS
- 21 STEEL JOIST, SEE STRUCTURAL DRAWINGS
- 22 STEEL JOIST, SEE STRUCTURAL DRAWINGS
- 23 STEEL JOIST, SEE STRUCTURAL DRAWINGS
- 24 STEEL JOIST, SEE STRUCTURAL DRAWINGS



NORTH ELEVATION
1/8" = 1'-0"



CHARTERED LEAD ARCHITECT

ARCHITECT

PROJECT TEAM

ARCHITECT

ARCHITECT

ARCHITECT

ARCHITECT

ARCHITECT

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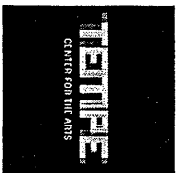
ARCHITECT

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ARCHITECT

A-3.02



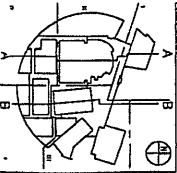
GENERAL PROJECT MATERIALS

DATE: 1/1/80
BY: J. L. BROWN
PROJECT NAME: TEMPE CENTER FOR THE ARTS
1000 E. McDowell Ave. Tempe, AZ 85281
1000 E. McDowell Ave. Tempe, AZ 85281

DESCRIPTION: This is a preliminary architectural drawing of the Tempe Center for the Arts. It shows the main theater, production office, storage, dressing rooms, and other facilities. The drawing is a cross-section showing the internal structure and layout of the building.

REVISION	DATE
1. SEE ARCHITECT	1/1/80
2. SEE ARCHITECT	1/1/80
3. SEE ARCHITECT	1/1/80
4. SEE ARCHITECT	1/1/80
5. SEE ARCHITECT	1/1/80
6. SEE ARCHITECT	1/1/80
7. SEE ARCHITECT	1/1/80
8. SEE ARCHITECT	1/1/80
9. SEE ARCHITECT	1/1/80
10. SEE ARCHITECT	1/1/80

KEY PLAN



SHEET TITLE: TEMPE CENTER FOR THE ARTS
SECTION A & B
SCALE: 1/8" = 1'-0"

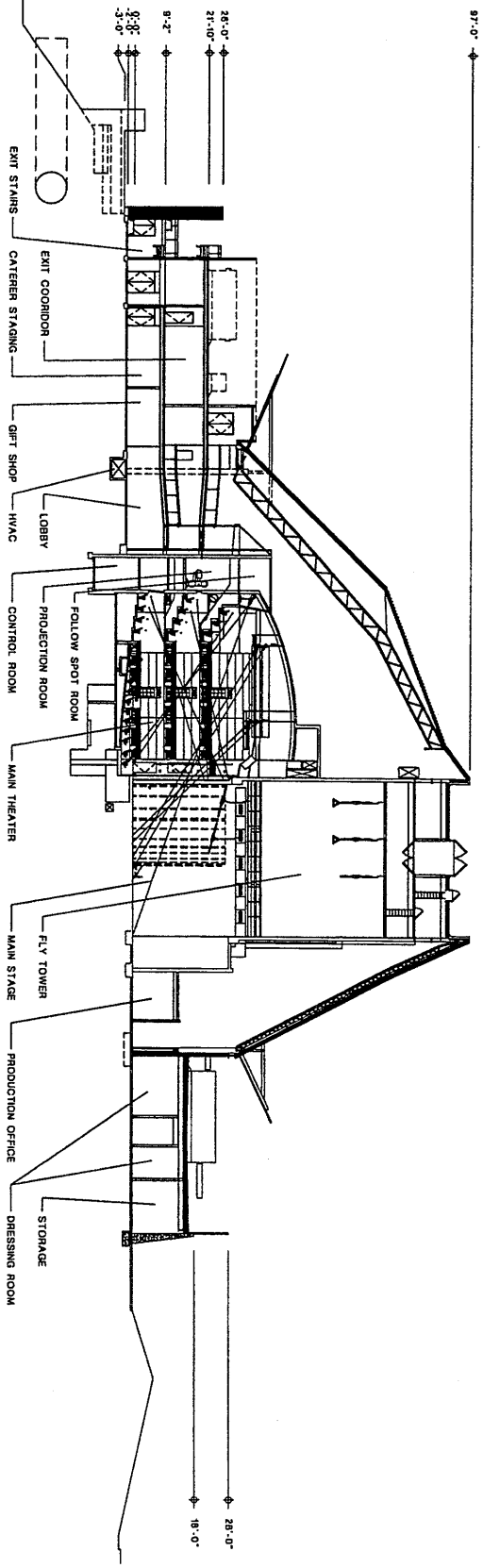
DATE

DESIGNED BY

REVISION

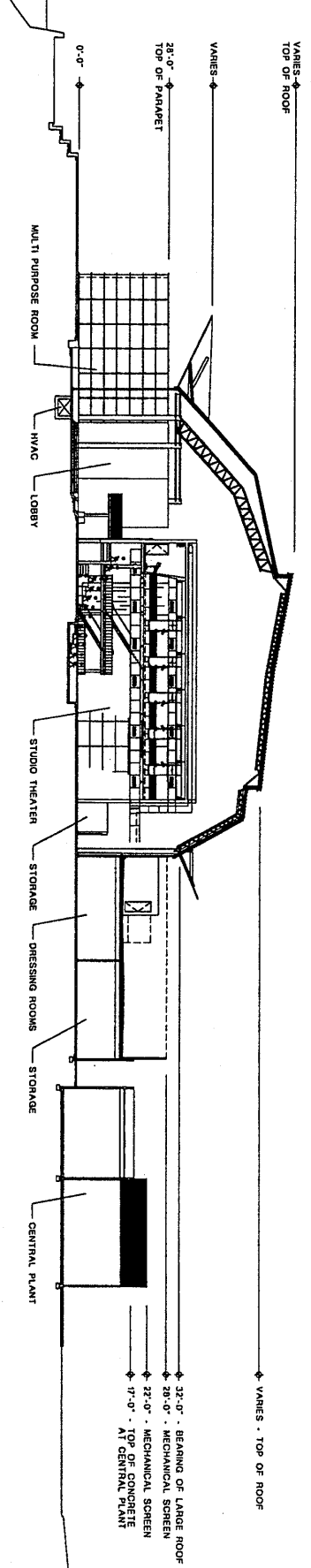
SECTION - A

1



SECTION - B

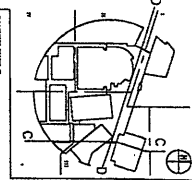
2



OWNER/PROJECT MANAGER

CITY OF TUSCUM
 One & one half Acres
 PITTSFIELD, MASS
 Fred Thompson
 The following have been made to work on the lot

THE UNIVERSITY OF CHICAGO PRESS

[illegible][illegible]

SHIRLEY STOLLA
OFFICIAL, TRAINING SECTION

SECTION 2 of 3

SCALE

$\sqrt{10^6} = 10^3$

DATE

LABOR FOR

ANALYSIS

BY

REMARKS

ANALYTICAL DATA

1. Name of the sample: _____

2. Name of the analyst: _____

3. Name of the laboratory: _____

4. Name of the client: _____

5. Name of the project: _____

6. Name of the report: _____

7. Name of the date: _____

8. Name of the time: _____

9. Name of the place: _____

10. Name of the person: _____

11. Name of the object: _____

12. Name of the material: _____

13. Name of the method: _____

14. Name of the result: _____

15. Name of the conclusion: _____

16. Name of the recommendation: _____

17. Name of the signature: _____

18. Name of the stamp: _____

19. Name of the seal: _____

20. Name of the mark: _____

21. Name of the symbol: _____

22. Name of the sign: _____

23. Name of the figure: _____

24. Name of the drawing: _____

25. Name of the sketch: _____

26. Name of the plan: _____

27. Name of the map: _____

28. Name of the chart: _____

29. Name of the graph: _____

30. Name of the table: _____

31. Name of the list: _____

32. Name of the index: _____

33. Name of the appendix: _____

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35. Name of the bibliography: _____

36. Name of the glossary: _____

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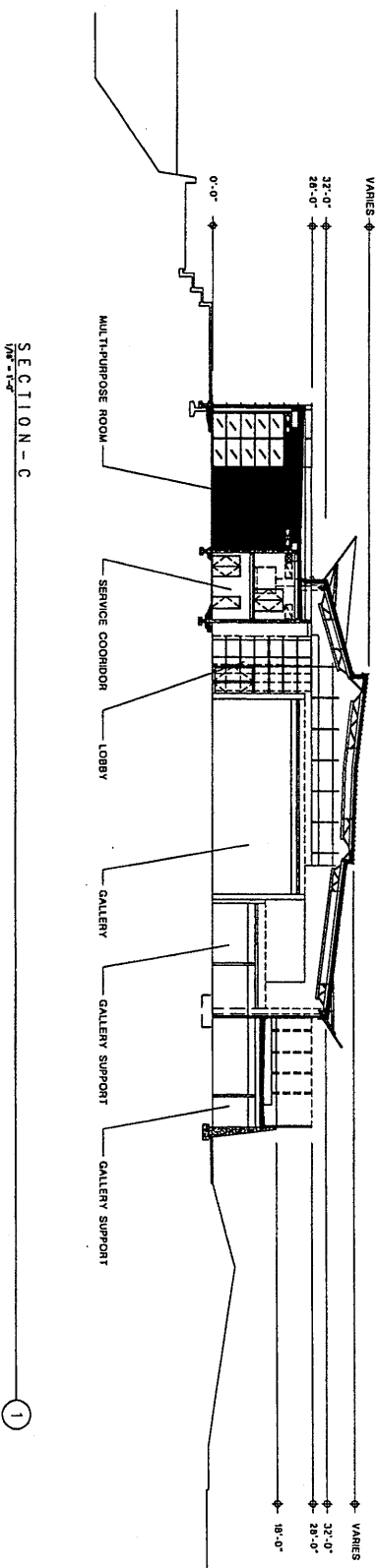
97. Name of the index: _____

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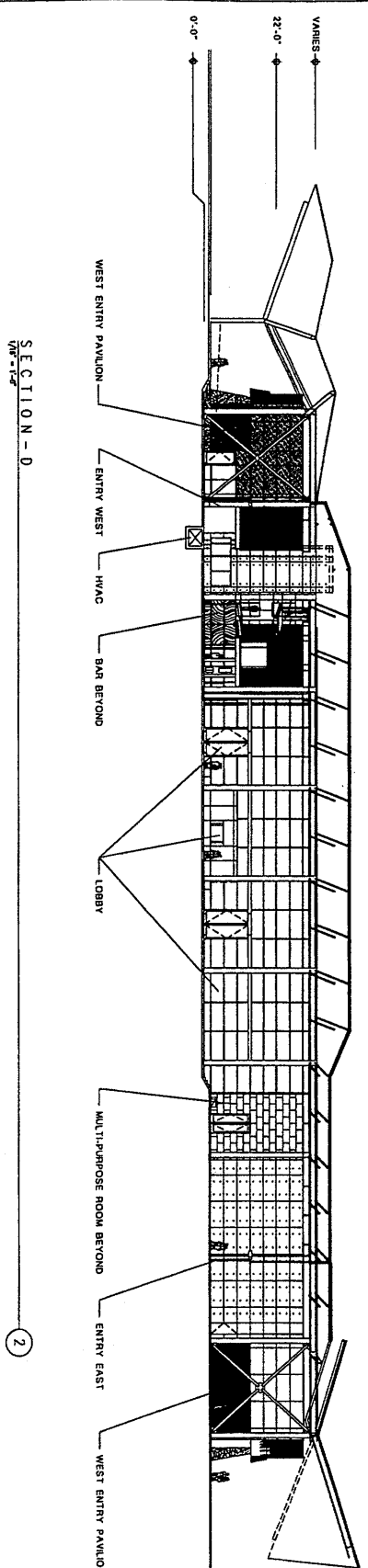
99. Name of the reference: _____

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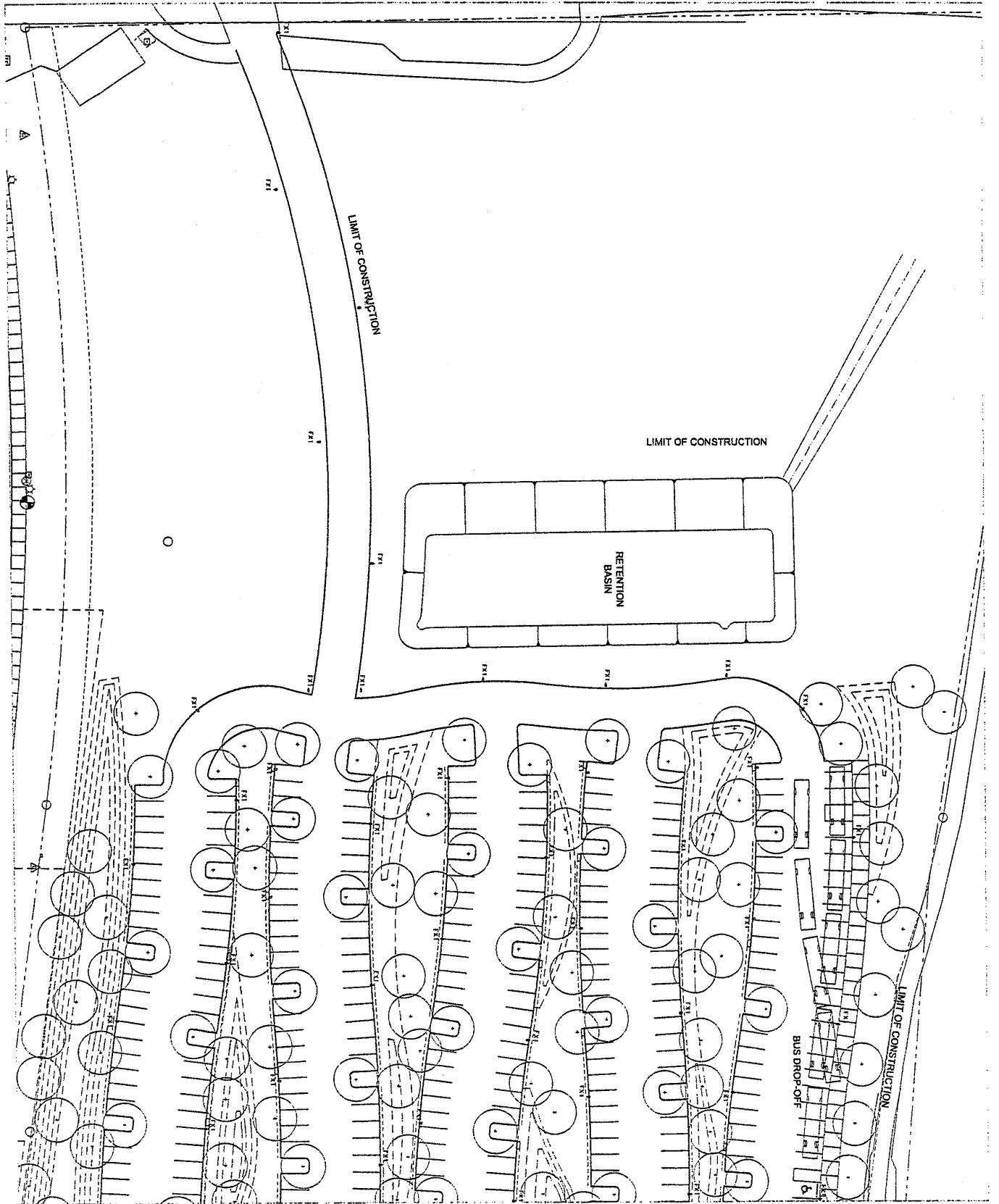
A-3.17



SECTION - C
1/10 = 1-q



SECTION - D
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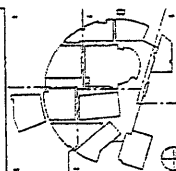


OWNER/PROJECT MANAGER
 CITY OF ST. LOUIS
 DEPARTMENT OF PUBLIC WORKS
 100 SOUTH 10TH STREET
 ST. LOUIS, MO 63102

PROJECT TEAM
 ARCHITECT: [Faint text]
 ENGINEER: [Faint text]
 LANDSCAPE ARCHITECT: [Faint text]
 PLANNING: [Faint text]
 CONSTRUCTION: [Faint text]

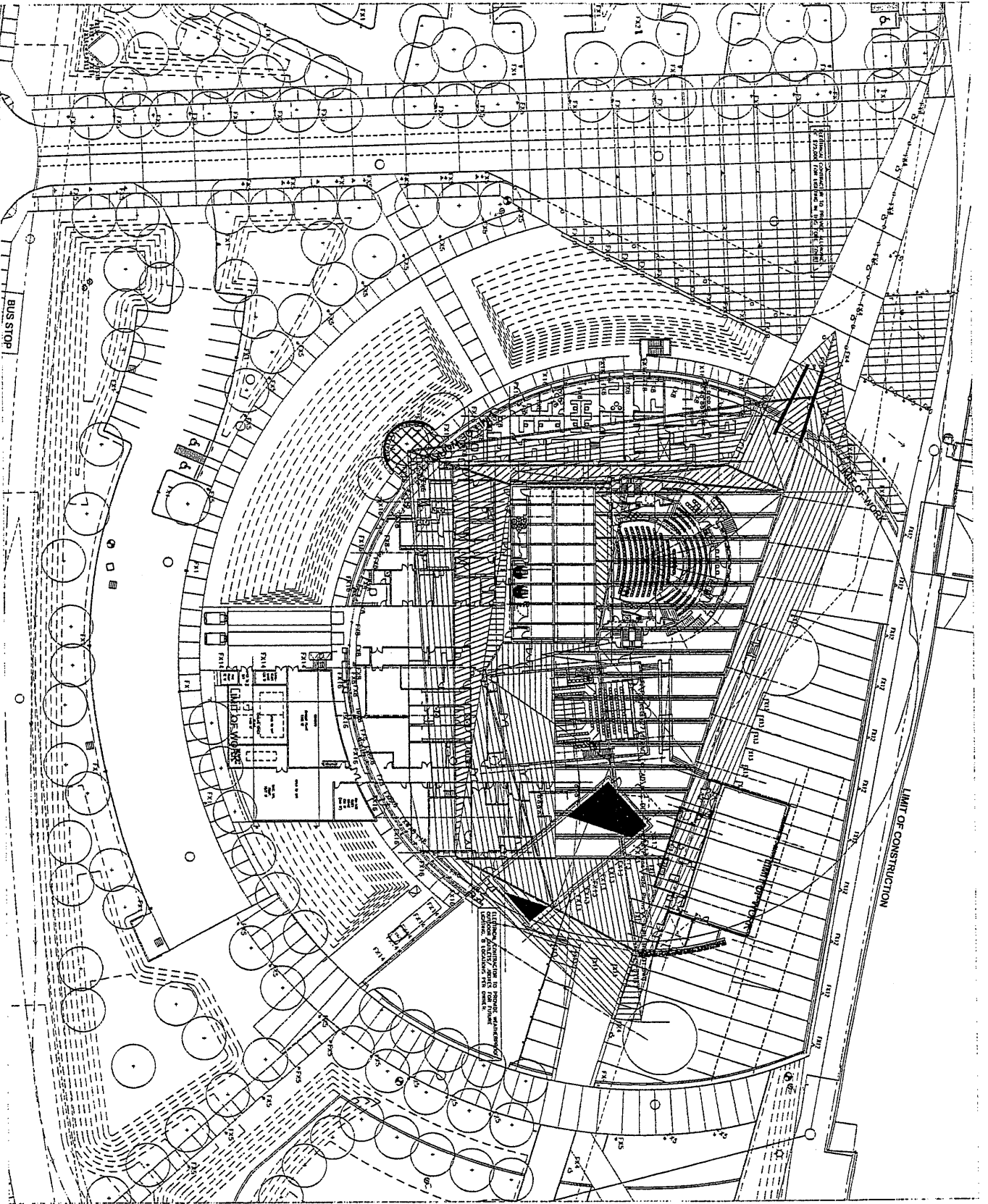
REVISIONS
 NO. DATE
 1. 10/1/01
 2. 10/1/01
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 4. 10/1/01
 5. 10/1/01
 6. 10/1/01
 7. 10/1/01
 8. 10/1/01
 9. 10/1/01
 10. 10/1/01

KEY PLAN
 H



PROJECT TITLE
 ST. LOUIS
 SCALE
 1" = 40'
 DATE
 10/1/01
 ISSUED FOR
 FOR CONSTRUCTION
 DRAWN BY
 [Faint text]

LTS.02



OWNER / PROJECT MANAGER

NAME: _____
 TITLE: _____
 ADDRESS: _____
 CITY: _____
 STATE: _____
 ZIP: _____

ARCHITECT

NAME: _____
 TITLE: _____
 ADDRESS: _____
 CITY: _____
 STATE: _____
 ZIP: _____

DATE

DATE: _____

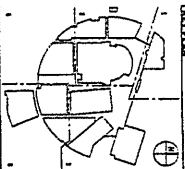
SCALE

SCALE: _____

REVISIONS

NO. _____ DATE _____

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PROJECT TITLE

PROJECT TITLE: _____

SCALE

SCALE: _____

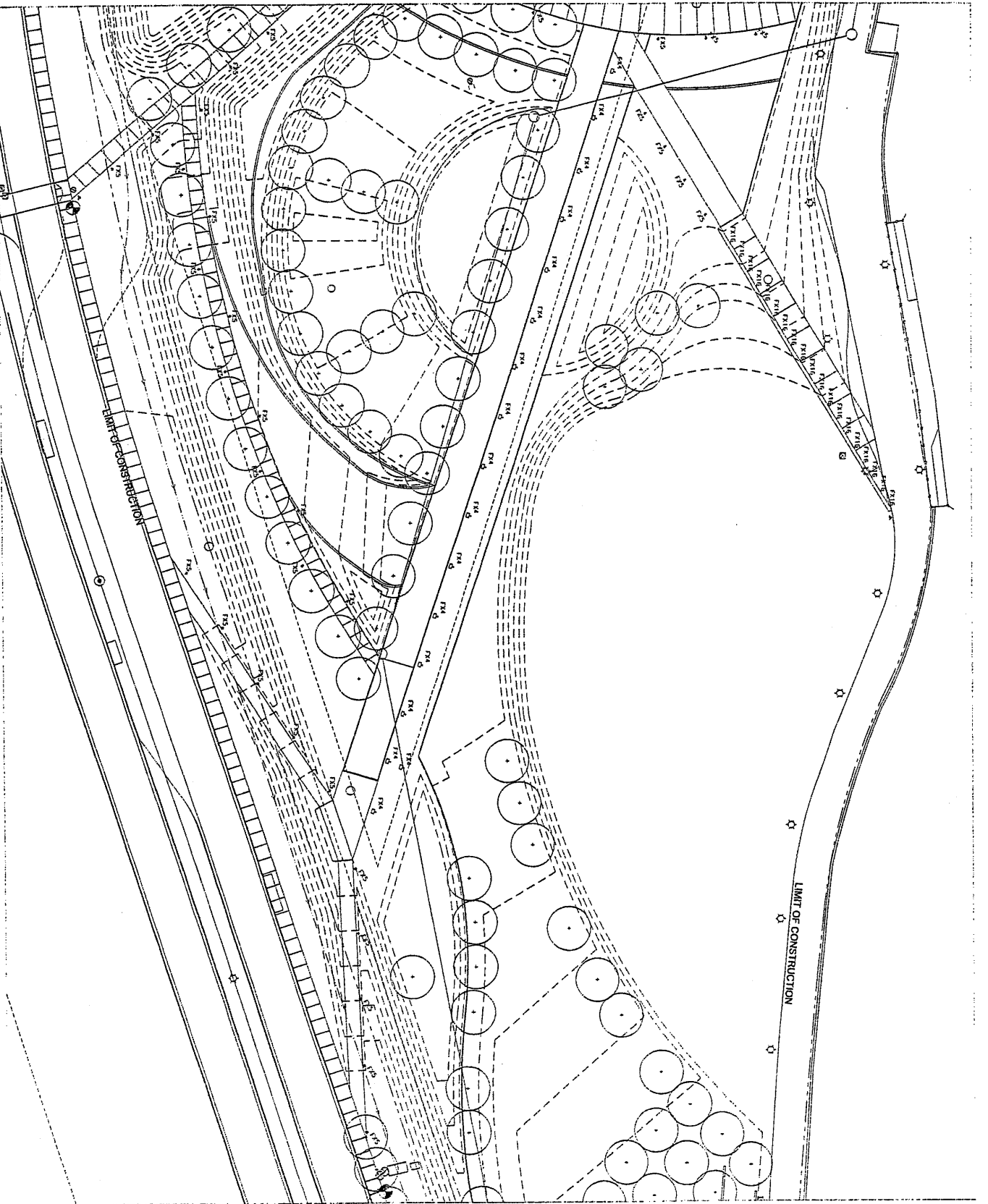
DATE

DATE: _____

DESIGNER

DESIGNER: _____

LTS.03

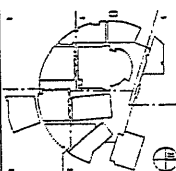


GENERAL AND SITE MANAGER
 Mr. [Name]
 [Address]
 [City, State, Zip]
 [Phone Number]

PROJECT TEAM
 [List of team members and roles]

REVISIONS
 [Table with columns for revision number, description, and date]

DATE
 [Date]
BY
 [Signature]
FOR
 [Signature]



SHEET TITLE
 [Title]
SCALE
 [Scale]
DATE
 [Date]
DESIGNED BY
 [Name]
DRAWN BY
 [Name]

LTS.04



OWNER/PROJECT MANAGER

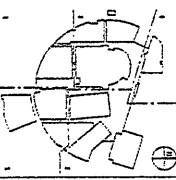
NAME: _____
ADDRESS: _____
CITY: _____ STATE: _____ ZIP: _____
PHONE: _____ FAX: _____
E-MAIL: _____

PROJECT TEAM

ARCHITECT
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ADDRESS: _____
CITY: _____ STATE: _____ ZIP: _____
PHONE: _____ FAX: _____
E-MAIL: _____
ENGINEER
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ADDRESS: _____
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E-MAIL: _____
LANDSCAPE ARCHITECT
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ADDRESS: _____
CITY: _____ STATE: _____ ZIP: _____
PHONE: _____ FAX: _____
E-MAIL: _____
INTERIOR DESIGNER
NAME: _____
ADDRESS: _____
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PHONE: _____ FAX: _____
E-MAIL: _____
ARTIST
NAME: _____
ADDRESS: _____
CITY: _____ STATE: _____ ZIP: _____
PHONE: _____ FAX: _____
E-MAIL: _____

REVISIONS
NO. _____ DATE: _____
BY: _____ FOR: _____
REASON: _____
APPROVED BY: _____
DATE: _____

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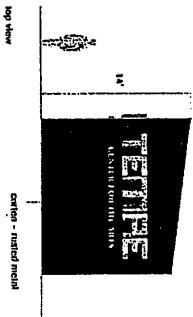
SHEET TITLE
NAME: _____
ADDRESS: _____
CITY: _____ STATE: _____ ZIP: _____
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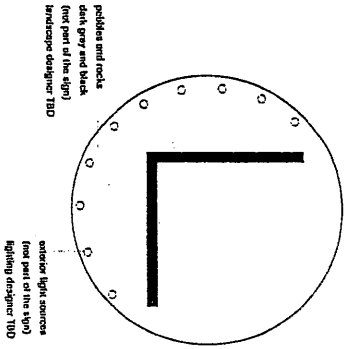
LAIRGE EXTERIOR SIGNAGE

Primary Theater Identifying Sign

side view



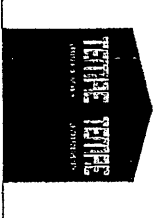
top view



pebbles and rocks
dark grey and black
(first part of the sign)
landscape designer TBD

outside light sources
(first part of the sign)
lighting designer TBD

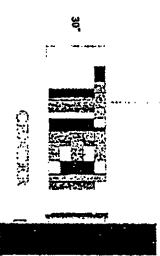
front view



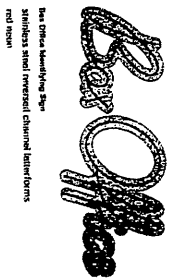
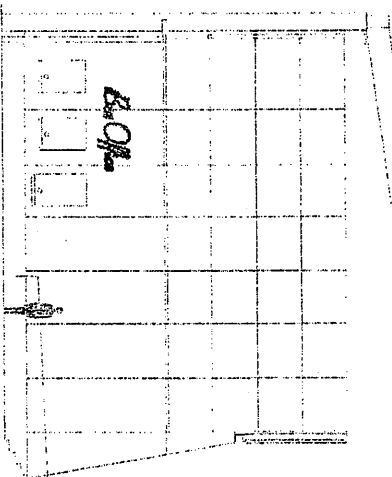
location



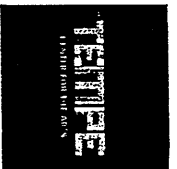
stainless steel at various levels



alternative
layers of acrylic in different shades



Bar Office
stainless steel universal channel letterforms
and signs



GENERAL PROJECT MANAGER

PROJECT TEAM

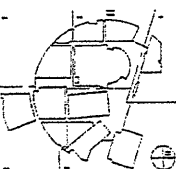
ARCHITECT
THEATRE FOR THE ARTS
1000 14th St NW
Washington, DC 20004
202-462-1234
www.theatreforthearts.org

DESIGNER
THEATRE FOR THE ARTS
1000 14th St NW
Washington, DC 20004
202-462-1234
www.theatreforthearts.org

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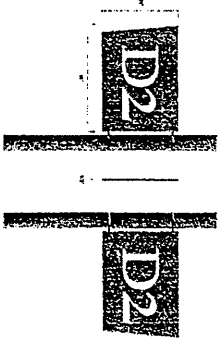
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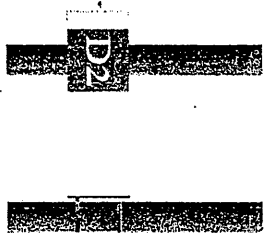
SN-01

Site Elevation

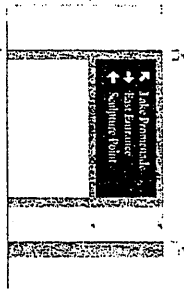
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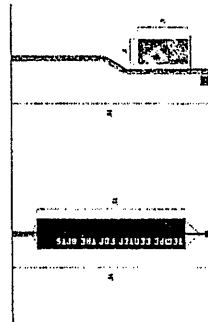
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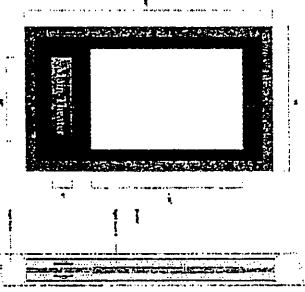
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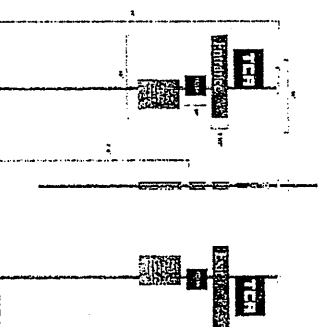
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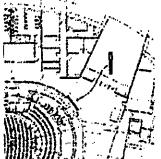
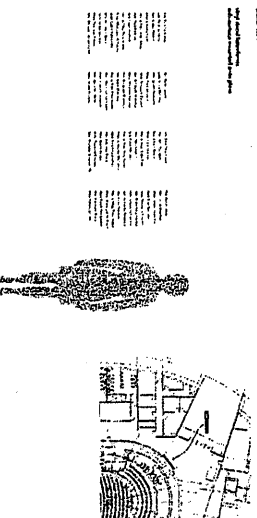
Site Elevation



Site Elevation



Site Elevation



OWNER / PROJECT MANAGER

PROJECT TEAM

ARCHITECT

ENGINEER

LANDSCAPE ARCHITECT

INTERIOR DESIGNER

ARTS CENTER

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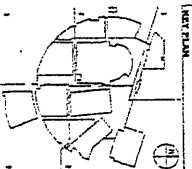
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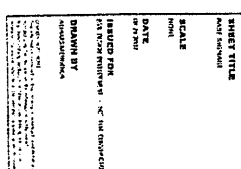
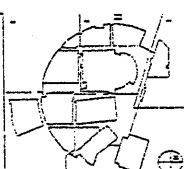
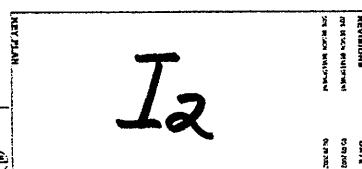
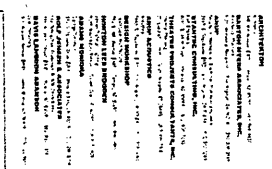
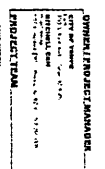
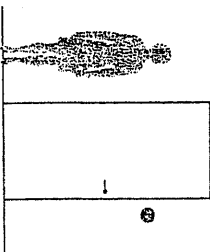
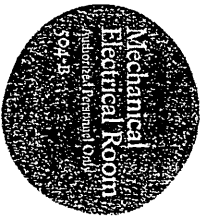
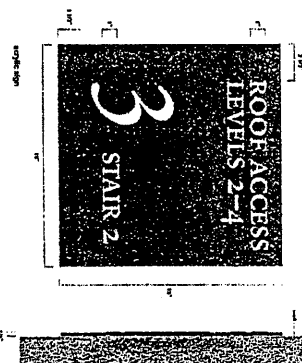
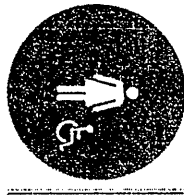
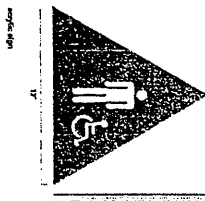
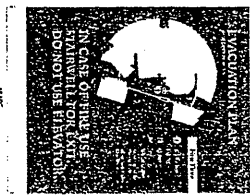
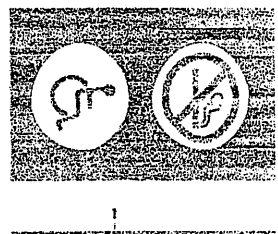
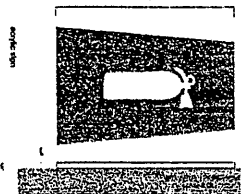
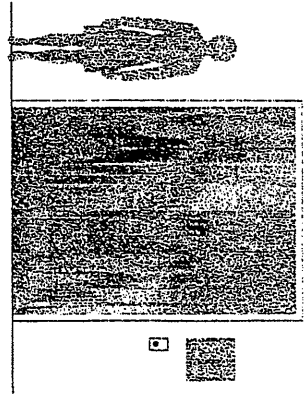
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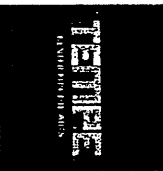
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APPROVED BY

PROJECT NO.

SN-02





ORIGINAL PROJECT MANAGER

PROJECT NAME

PROJECT TEAM

APPROVED BY

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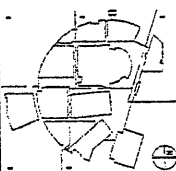
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SN-04

Memorandum



Public Works Department

Date: August 13, 2002
To: Hector Tapia
From: Shelly Seyler
Subject: Tempe Center for the Arts

Introduction and Background

This memorandum is in response to the submittal by the City of Tempe for the Center for the Arts along Rio Salado Parkway and the request to change the zoning on-site from I-2 to MG. Under the requirements of the zoning ordinance, the applicant is required to submit a traffic impact analysis for the zone change.

In 1998, BRW was hired by the City of Tempe to conduct an areawide Traffic Study along Rio Salado Parkway. This study was used to determine the impact of planned developments in the Rio Salado corridor and focused on key design aspects of the realignment of the Rio Salado Parkway through downtown Tempe. The study included analysis of existing and future (Years 2005 and 2020) traffic conditions on roadway segments in the study area. The overall study area included Rio Salado Parkway from Priest Drive to McClintock Dr; Priest Drive from Fifth Street to Washington Street/Curry Road; Rural (Scottsdale) Road from University Drive to SR 202; and McClintock Drive from University Drive to SR 202.

The study at the time took into consideration several developments in the area; however, the new Center for the Arts was not considered. In order to address the traffic impact analysis for the Center for the Arts, the study was used as a baseline guide to establish existing and future operating conditions along the Rio Salado corridor at key intersections. The trip generation for the Center for the Arts was then determined and compared to the baseline study to determine any potential areas of concern where operating conditions would be less than acceptable.

Site Location

The proposed Tempe Center for the Arts is located on the north side of Rio Salado Parkway east of the signalized intersection with Hardy Drive. Access to the site will be provided via a driveway onto Rio Salado Parkway and a connection to the north leg of the signalized intersection at Hardy Drive.

Land use

The overall development consists of a center to be used as a place of mixed arts and performance center capable of presenting theatre, dance, mid-sized touring groups, classical music, popular concerts, opera, ballet and others. The building will house a

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main theatre, studio theatre as well as a gallery and common areas. The main theatre seats approximately 600 persons on three levels in a flexible proscenium arrangement. The studio theatre is a 200 seat flexible space with the capability of 2 levels of surrounding gallery for technical, staging or audience usage.

Trip Generation

ITE's *Trip Generation, 5th Edition*, was used to obtain the peak-hour trip generation rates and inbound-outbound percentages. The trip generation characteristics of the site are summarized below:

Table 1 – Project Trip Generation

Land Use	ITE Code	Intensity	Units	PM Peak Hour of Adjacent Street		
				In	Out	Total
Live Theater	441	800	Seats	8	8	16

Existing Traffic Conditions

As stated above, the existing and future traffic conditions were determined from the Rio Salado Parkway study conducted by BRW. Two intersections were specifically identified and reviewed for the Tempe Center for the Arts. These intersections include Priest Dr and Rio Salado Parkway and Rio Salado Parkway and Hardy Ave. The results of their analysis are shown below.

Table 2 -Year 2005 Peak Hour Intersection Levels of Service

(Rio Salado Parkway Design Project Traffic Impact Study assuming a reduced travel assignment – 15% from internal trip capture and 10% from transit))

Intersection	AM Peak Hour		PM Peak Hour	
	LOS	Delay	LOS	Delay
Priest Dr/Rio Salado Pkwy	C	23.1 sec	D	28.2 sec
Rio Salado Pkwy/Hardy Dr	C	16.4 sec	C	18.2 sec

Table 3 - Year 2020 Peak Hour Intersection Levels of Service

(Rio Salado Parkway Design Project Traffic Impact Study assuming a reduced travel assignment – 15% from internal trip capture and 10% from transit))

Intersection	AM Peak Hour		PM Peak Hour	
	LOS	Delay	LOS	Delay
Priest Dr/Rio Salado Pkwy	D	25.1 sec	D	35.0 sec
Rio Salado Pkwy/Hardy Dr	C	23.4 sec	C	23.8 sec

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Conclusions

As can be seen by the trip generation rates shown in Table 1, the number of trips generated by the Center during critical travel times will be very limited. This is an anticipated result because of the type of use and the times of events typically held at a facility like the Arts Center. Therefore, based on the number of trips generated during the PM peak hour and the intersection LOS for the two key intersections studied, the Center will have minimal impact on the street system during peak periods. In addition, this analysis should satisfy the requirement to provide a Traffic Impact Study as required by the MG zone.

ORDINANCE NO. 808.2002.06

AN ORDINANCE AMENDING SECTION I OF PART 2.F. OF
ORDINANCE NO. 808 OF THE CITY OF TEMPE AND THE
DISTRICT ZONING MAP ACCOMPANYING AND MADE
PART OF THE SAID ORDINANCE NO. 808.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF TEMPE,
ARIZONA, as follows:

SECTION 1. That Section I.2.F. of Ordinance No. 808 of the Zoning Ordinance of the City of Tempe and the District Zoning Map of the City of Tempe accompanying and made a part of the said Ordinance No. 808 be and they are hereby amended by removing the below described property from the I-2 General Industrial and R1-6 One Family Residential and including it in the MG Multi-Use General District.

LEGAL DESCRIPTION

That portion of the Northeast Quarter of Section 16,
Township 1 North, Range 4 East of the Gila and Salt River
Base and Meridian, Maricopa County, Arizona, said portion
being more particularly described as follows:

Commencing at the East Quarter corner of said Section 16:
Thence, N00° 00' 25"E a distance of 955.16 feet along The
East line of said Section 16;
Thence, S86° 52' 10"W a distance of 144.24 feet to the
POINT OF BEGINNING, said point being on the West
Right of Way line of the Southern Pacific Railroad and the
North Right of Way line of Rio Salado Parkway;
Thence, continuing S86° 52' 10"W a distance of 56.43 feet
along said North Right of Way line to the beginning of a
tangent curve concave South with a radius of 1497.39 feet;
Thence, Westerly along the curve of said North Right of
Way a length of 384.14 feet through a central angle of 14°
41' 55";

K

Thence, S72° 10' 15"W a distance of 429.34 feet along said North Right of Way line to the beginning of a tangent curve concave North with a radius of 1844.86 feet;
 Thence, Westerly along the curve of said North Right of Way a length of 820.79 feet through a central angle of 25° 29' 29";
 Thence N 82° 20' 16"W a distance of 444.89 feet along said North Right of Way line to the beginning of a tangent curve concave South with a radius of 1497.39 feet;
 Thence, Westerly along the curve of said North Right of Way a length of 449.22 through a central angle of 17° 11' 20" to the North-South mid-section line of said Section 16;
 Thence, N00° 47' 48"W a distance of 591.08 feet along said mid-section line;
 Thence, S81° 05' 06"E a distance of 510.43 feet;
 Thence, S85° 11' 31"E a distance of 589.18 feet;
 Thence, S78° 45' 27"E a distance of 339.39 feet;
 Thence, N8° 35' 52"E a distance of 16.76 feet to the beginning of a non-tangent curve the radius of which bears N13° 56' 38"E a distance of 242.16 feet;
 Thence, easterly along said curve a length of 96.24 feet through a central angle of 22° 46' 15";
 Thence, N81° 10' 23"E a distance of 165.95 feet to the beginning of a non-tangent curve the radius of which bears S1° 39' 19"W a distance of 246.99 feet;
 Thence, easterly along said curve a length of 105.34 feet through a central angle of 24° 26' 13" to the beginning of a reverse curve, the radius of which bears N26° 05' 32"E a distance of 405.53 feet;
 Thence, easterly along said reverse curve a length of 143.74 feet through a central angle of 20° 18' 31";
 Thence; S84° 12' 59"E a distance of 25.00 feet to the beginning of a tangent curve concave North with a radius of 6633.47 feet;
 Thence, easterly along said curve a length of 370.06 feet through a central angle of 3° 11' 47";
 Thence, S87° 24' 46"E a distance of 96.22 feet;
 Thence, N88° 37' 45"E a distance of 54.44 feet to the beginning of a tangent curve concave North with a radius of 140.69 feet;
 Thence, along said curve a length of 71.25 feet through a central angle of 29° 00' 52" to the West Right of Way line of the Southern Pacific Railroad;
 Thence, S5° 04' 00"E a distance of 132.73 feet along said Railroad Right of Way to the POINT OF BEGINNING.

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SECTION 2. Further, those conditions of approval imposed by the City Council, Case #ZON-2002.06 are hereby expressly incorporated in ordinance by this reference.

PASSED AND ADOPTED by the City Council of the City of Tempe, Arizona, this ____ day of _____, 2002.

Mayor

ATTEST:

City Clerk

APPROVED AS TO FORM:

City Attorney

Development Services Director

K2



Federal Aviation Administration
Western Pacific Regional Office
PO Box 92007-AWP-520
Los Angeles, CA 90009-2007

AERONAUTICAL STUDY NO.
2002-AWP-1501-OE
PRIOR STUDY NO.

Issued Date: 8/16/2002

RANDY GROSS
CITY OF TEMPE ARIZONA
31 EAST FIFTH STREET
TEMPE, AZ 85281

**** DETERMINATION OF NO HAZARD TO AIR NAVIGATION ****

The Federal Aviation Administration has completed an aeronautical study under the provisions of 49 U.S.C., Section 44718 and, if applicable, Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure Type: TEMPE ARTS CENTER *700 West Rio Salado Parkway*
Location: TEMPE, AZ
Latitude: 33-25-54.6 NAD83
Longitude: 111-56-56.7
Heights: 100 feet above ground level (AGL)
1258 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking and/or lighting are accomplished on a voluntary basis, we recommend it be installed and maintained in accordance with FAA advisory Circular 70/7460-1 70/7460-1.

The structure considered under this study lies in proximity to an airport and occupants may be subjected to noise from aircraft operating to and from the airport.

This determination expires on 2/16/2004 unless:

- (a) extended, revised or terminated by the issuing office.
- (b) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE POSTMARKED OR DELIVERED TO THIS OFFICE AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE.

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